



Historic
Preservation
Commission

The City-County of
Butte-Silver Bow

5:30 p.m. Tuesday
May 5, 2020
Conference Call

Members

Steve Hinick, Chair
Mitzi Rossillon, Vice Chair
Butch Gerbrandt
Russell O'Leary
Jennifer Petersen
Bobbi Stauffer
John Weitzel

MEETING WILL BE CONDUCTED BY CONFERENCE CALL

Historic Preservation Commission Members and Members of the Public
Can Participate by Calling:

1-877-820-7831

and

Entering Participant Passcode: 599883

You may encounter a busy signal --- if so, please keep trying until you get through

CALL TO ORDER

ROLL CALL

READING/APPROVAL OF THE PREVIOUS MEETING MINUTES:

April 16, 2020

PUBLIC COMMENT – ITEMS ON THE AGENDA

NEW/OLD BUSINESS

A. NAHN Design Change Request: 802 Empire

B. Design Review COA: 625 North Main Street

C. Design Review COA: 800 Utah Avenue (Casagrande's)

D. Demolition/Design Review COA: 3040 Continental Drive (NCAT)

STAFF/MEMBER REPORTS

ANNOUNCEMENTS

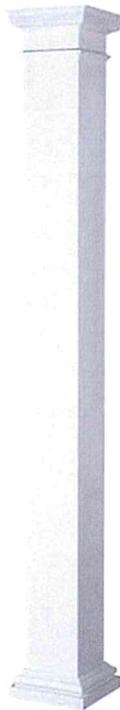
PUBLIC COMMENT – ITEMS NOT ON THE AGENDA

ADJOURNMENT

**National Affordable Housing Network
Request for Design Change
Empire Street Project
May 2020**

The National Affordable Housing Network (NAHN) is requesting the Butte-Silver Bow Historic Preservation Commission (HPC) consider a design change to one of the three new houses under construction as part of its Empire Street Project. This project is using funds from the U.S. Department of Housing and Urban Development's Neighborhood Stabilization Program 3 (NSP3).

The design change is particular to the hip roofed cottage at 802 Empire. This cottage was specified to be constructed with Queen Anne-style turned posts at the front porch (see attachment). NAHN is requesting to replace use of turned post with PVC wraps in a Craftsman-style design, as follows:



The HPO consulted the State Historic Preservation Officer (SHPO) about this proposed design change. The SHPO believed it would be appropriate, if the HPC concurred.

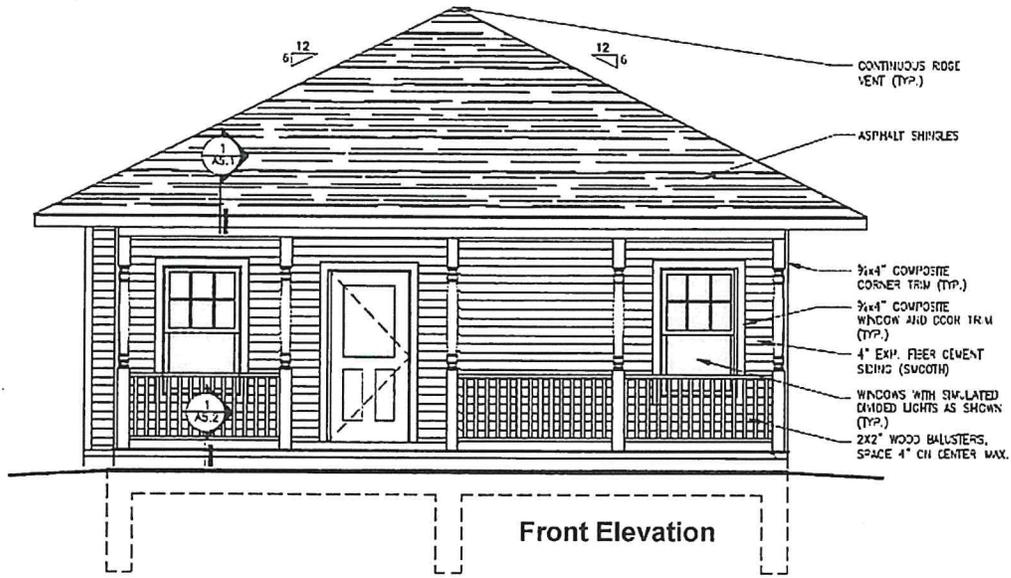
The HPO recommends approval of this design change.

May Macomber May 1, 2020

ATTACHEMENTS

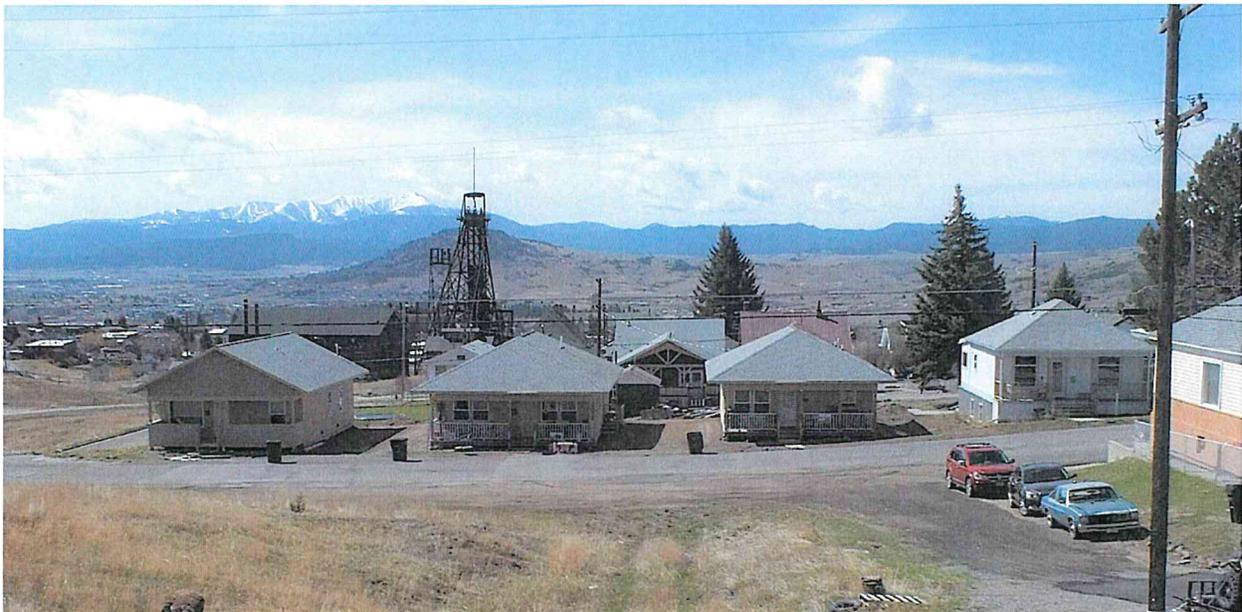


Empire Street Infill Designs



1092 Hip Turned Posts

Queen Anne-style porch posted originally proposed for 802 Empire Street.



Empire Street NHP3 houses, May 1, 2020. 802 Empire is the second from the left.



802 Empire. May 1, 2020. Not yet painted.



**BUTTE-SILVER BOW HISTORIC PRESERVATION OFFICE
CERTIFICATE OF APPROPRIATENESS APPLICATION**

- Demolition Review COA
 Design Review COA

OWNER INFORMATION

Name: Steven Thompson and Nancy Woodruff
Address: 625 North Main Street
City: Butte **State:** MT
Phone: E-Mail (optional):

APPLICANT INFORMATION (If different from owner)

Name:
Address:
City: **State:** **Zip:**
Phone: E-Mail (optional):

PROPERTY INFORMATION

Address: 625 North Main Street
Addition/Block/Lot: Warren & Kingsbury/ Block A/ Lot 4A
Other Legal Description:

HISTORIC STATUS

- National Register Listed** **Individually** Butte-Anaconda National Historic Landmark District
 Contributing to
National Register Eligible **Individually**
 Contributing to
Local Register Listed

SCOPE OF WORK (Describe the proposed project in detail. Insert or attach maps, drawings, reports, photographs or other materials as specified by the "SUBMITTAL REQUIREMENTS CHECKLIST" section of this form).

The property owners are seeking a grant from the Urban Revitalization Agency (URA) to assist with a rehabilitation project at the historic house and their home at 625 N. Main. The house is the southernmost of the two impressive Victorian-style dwellings that stand side-by-side on the west side of Main just across from the Steward Mine. Both houses hail from the 1890s.

Rehabilitation work proposed by the owners includes repainting the exterior wood elements of this brick masonry house and reconstruction of most of the wood-sash windows. The house's exposed brick walls will remain unpainted.

This COA application considers the proposal for the window reconstructions. The owners provided a detailed description of the work as follows:

COA Application, page 2

The house still has its original, wooden, double-hung windows. However, many of these are inoperable due to warping of the wood over time or due to issues with the counterweight mechanisms. Others open, but only partially. To allow adequate ventilation in the summer, particularly in the second story where the bedrooms are located, the condition of the windows needs to be addressed.

In addition, in some of the windows the glazing is almost entirely absent, and there is a gap between the glass and the window frame. On other windows, the hardware has fallen off the window frames due to rotting wood.

While replacement with modern windows would be less expensive, we feel the windows are an important element of the historic character of the house, and we prefer to restore the original wooden windows. We feel fortunate that Rex Builders has agreed to undertake the project, as they have an excellent reputation in historic preservation, and in window restoration in particular.

All windows will be rebuilt with the same operational type and size as the current windows. Original hardware and original wavy glass will be used wherever possible. Windows will be rebuilt with single-paned glass, and custom storm windows will be built. The storm windows will be built with styles and rails to match the original windows, so that the exterior appearance of the windows will conform to the original window styles.

We plan to restore the windows in three phases over the next three years. The estimate from Rex Builders is attached and includes details on the work to be done and photos of the windows. For convenience, I have reworked some of their information to show the three phases in the table below. At this time we are applying for a grant to assist with Phase 1 and Phase 2.

Phase 1 focuses on improving ventilation and includes the windows in the master bedroom, two windows in the first floor bathroom, and the transom over the front door. We expect the work to begin this spring and to be completed by the end of the year.

Phase 2 restores the windows in the guest bedrooms and bath, and a window in the entry hallway. We expect work on Phase 2 to begin in early 2021 and to be completed by the fall of 2021.

The house has two stained glass windows, which fortunately are in good condition and are protected on the outside by plexiglass. No work is proposed for the stained glass portions of the windows.

SUBMITTAL REQUIREMENTS CHECKLIST

Demolition Review COA

- Historic Property Inventory form (*not available*).
- Site map showing footprint of building/structure proposed for partial or complete demolition and any other buildings/structures on the property.
- Photographs of all four facades of building/structure proposed for partial or complete demolition.
- Photographs of structural deficiencies of building/structure proposed for partial or complete demolition.
- Structural evaluation report prepared by a certified engineer or architect.
- Rehabilitation cost estimate prepared by a qualified contractor, or certified architect or engineer.
- Assessment of property's fair market value prepared by a realtor.
- Proof of advertisement for the sale or lease of the property for a period of 90 days.
- Relocation plan.
- Design Review COA for any new buildings or structures proposed for construction.

Design Review COA

- Historic Property Inventory form.
- Site map showing footprint of building/structure proposed for rehabilitation and any other buildings/structures on the property.
- Site map showing footprint of building/structure proposed for new construction.
- Elevation drawings of all facades proposed for rehabilitation, indicating window and door placement and types, other structural or stylistic elements, and construction materials.
- Elevation drawings of all four facades of new building/structure proposed for construction, indicating window and door placement and types, other structural or stylistic elements, and construction materials.
- Photographs of all four facades of building/structure proposed for rehabilitation.
- Photographs of all exterior structural/architectural elements proposed for repair or replacement rehabilitation

STAFF RECOMMENDATION

The Historic Preservation Officer recommends approval of this project.

Signature of HPO

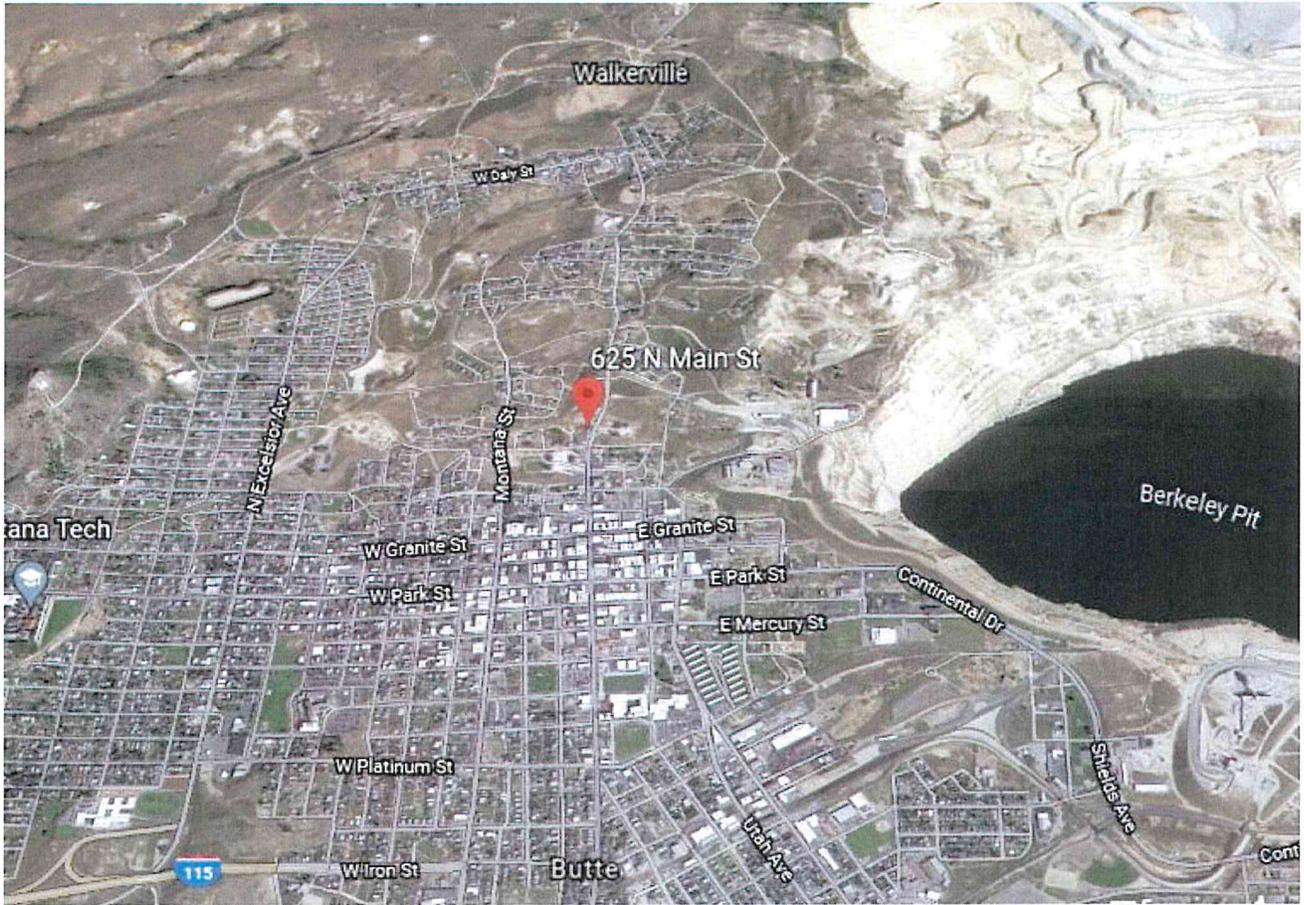


Date

May 1, 2020

Signature of Applicant/Owner

Date



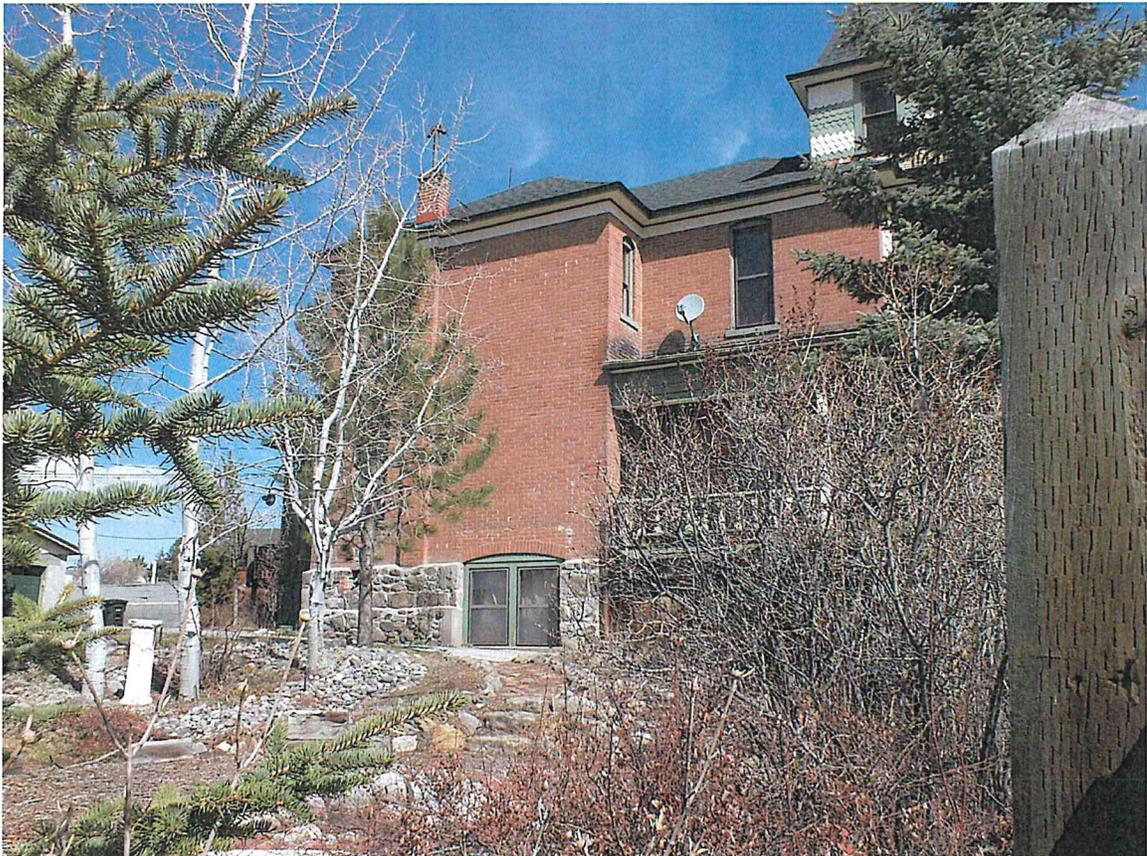
Locational Map



Site Map



625 N. Main St. is the house on the left. View is to the northwest. Photograph by property owner.



South façade. View to north-northwest.

MONTANA HISTORICAL AND ARCHITECTURAL INVENTORY

Site #	C
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Legal Description: Warren + Kingsbury - Block A - Lot - N 10' of 4

Address: 625 N. MAIN

Ownership: name: Sarsfield O'Sullivan BS

address: 109 Second St. E. Whitehall Mt. 59701

Roll # 7 Frame # 26



Location map or building plan with arrow north.

Historic Name: _____

Common Name: _____

Date of Construction: between 1891 + 1900 estimated documented

Architect: _____

Builder: _____

Original Owner: E. O. (see back)

Original Use: residence

Present Use: church rectory

Research Sources:

<input type="checkbox"/> abstract of title	<input type="checkbox"/> city directories
<input checked="" type="checkbox"/> plat records/maps	<input type="checkbox"/> sewer/water permits
<input checked="" type="checkbox"/> tax cards	<input type="checkbox"/> obituaries
<input checked="" type="checkbox"/> building permit	<input type="checkbox"/> biographies
<input checked="" type="checkbox"/> Sanborn maps - dates: <u>1888, 1890, 1891 + (900)</u>	

Bibliography: _____

PHYSICAL DESCRIPTION: Describe present appearance of structure/site, then contrast and compare that with it's original appearance, noting additions, alterations, and changes in materials. Discuss significant architectural features.

- | | |
|--|--|
| 1 - two | 6 - frame |
| 2 - rectangular Victorian residence | 7 - brick veneer |
| 3 - asphalt-shingled | 8 - D.H. 1/2 + FT. with stained glass in the transom of the front projecting bay |
| 4 - hip with shed roof off the rear and a pyramidal roof on a rectangular turret | 9 - two |
| 5 - random-coursed rubble stone | 10 - exterior, metal and brick |

This Victorian house has a two-level turret projecting from the porch roof that is covered with asphalt shingles. The turret has a fixed window with stained glass transom and opposite windows on the top level. The wrap-around front porch has a hip roof supported by plain posts and rail with lap siding along the base and top of the porch. This Victorian also has a decorative wood paneled floor. The three-bay garage is constructed of cinder block and has an asphalt-shingled gable roof.

HISTORICAL SIGNIFICANCE: Justify how the persons, important events, and/or historical patterns associated with the structure/site and surrounding area lend the property significance.

In 1900, Thom. + Helen Bryant ^{owned this house, Thomas who worked in Butte as a} ^{1875 Am. R.R. Superintendent}
was born in England in 1862 and immigrated to the States in 1878. The family took in some roomers and had a servant.

1900 Census

INTEGRITY: Assess the degree to which the structure/site, and surrounding area accurately convey the historical associations of the property.

G.I.: Victorian vernacular house

INFORMATION VALUE: Explain how the extant structure/site may demonstrate or yield information about its historic use or construction.

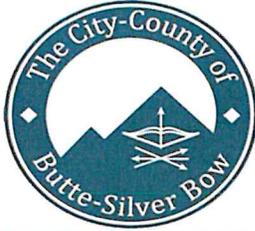
C: Victorian vernacular house with its porch, turret, and ^{details}
lead and stained glass.

FORM PREPARED BY:

Name: B. STOVERS
Address: 416 W. Quartz
Date: 8/21/84

GEOGRAPHICAL INFORMATION:

Acreage: _____
USGS Quad: _____
UTM's: _____



**BUTTE-SILVER BOW HISTORIC PRESERVATION OFFICE
CERTIFICATE OF APPROPRIATENESS APPLICATION**

- Demolition Review COA
 Design Review COA

OWNER INFORMATION

Name: National Center for Appropriate Technologies (NCAT)
Address: 3040 Continental Drive
City: Butte State MT
Phone: E-Mail (optional):

APPLICANT INFORMATION (If different from owner)

Name:
Address:
City: State: Zip:
Phone: E-Mail (optional):

PROPERTY INFORMATION

Address: 3040 Continental Drive
Addition/Block/Lot:
Other Legal Description: Portion of the SW1/4 NW1/4 Section 28, Township 3 North, Range 7 West

HISTORIC STATUS

National Register Listed Individually
 Contributing to
National Register Eligible Individually
 Contributing to
Local Register Listed

SCOPE OF WORK (Describe the proposed project in detail. Insert or attach maps, drawings, reports, photographs or other materials as specified by the "SUBMITTAL REQUIREMENTS CHECKLIST" section of this form).

NCAT is proposing to reconstruct a large two-story entry porch at their headquarters building in Butte, the historic Silver Bow County Poor Farm Hospital at 3040 Continental Drive. They have applied for a permit from Butte-Silver Bow to demolish the existing porch and have provided BSB with architectural plans for the new porch. This COA application considers the demolition request. In the event that Historic Preservation Commission approves the demolitions with the condition for design review, plans for the new porch are considered.

The Poor Farm Hospital was listed in the National Register of Historic Places on its own merits in the early 1980s. It is a 2½ story brick masonry building that is comprised of three main sections: a central section constructed in 1902, a north section constructed in 1917-18; and a south section constructed between 1902 and 1917.

COA Application, page 2

The existing two-story entry porch is on the east or rear façade of the building's central section; it is not visible to view from Continental Drive. It reportedly was built by the Works Progress Administration, a Depression-era (early 1930s-early 1940s) agency. The porch occupies a recess between the building's north and south sections and is inset under the central section's roof. It has a staircase at center that accesses the first story, which is on an elevated base. A separate staircase goes from the base to the second story. Its entrance is toward the southern end of the porch. This staircase makes a quarter turn to the north at the first story and reaches the second story near the center of the porch. The all wooden porch has post supports, simple post balustrades, beveled handrails, newel posts with beveled caps, tongue-and-groove flooring, and beadboard ceilings. Concrete stairwells at the north and south ends of the porch provide access to the basement. The stairwell to the north is covered by a gable roof and the one to the south by a shed roof. Both roofs are supported by wood posts and beams and have exposed rafter. The ends of the beams are pointed.

Demolition of Existing Porch

NCAT has determined that the porch is unsafe. In particular, the second story porch is sagging. NCAT no longer allows access to this upper level. The entire porch, including the roofs at the two stairwells, are proposed demolition.

New Porch Design and Materials

NCAT proposes to reconstruct the two-story porch and the roofs at the two stairwells. An exterior staircase to the second story, however, will not be built. This upper level of porch will be a balcony assessable only from the second story interior. Other notable changes include construction of a large gable roof over the first story staircase and construction of shed roofs at both stairwells, alternative of a gable roof at the north stairwell. Similar to the existing porch, the new porch will have wood post supports, wood post balusters with beveled handrails, wood newell posts with beveled caps, tongue and groove flooring, and beadboard ceilings. The railings will be built to code, and the posts supports will be founded on concrete footers.

The State Historic Preservation Officer, Pete Brown, has informally commented on the proposed new design (see attached email). He stated:

On this building, we recommend against rough-sawn wood, conspicuously visible gussets, gang-nail plates, clunky Simpson hardware, plywood. Beadboard (true beadboard or plywood with a beadboard profile) soffit on your awning and paint might hide or draw less attention to those tell-tale modern things. Maybe you can pick up whatever motifs you see elsewhere on the building. Those 4X4 ends cut to a point on existing awnings are a nice one.

SUBMITTAL REQUIREMENTS CHECKLIST

Demolition Review COA

- Historic Property Inventory form *(not available)*.
- Site map showing footprint of building/structure proposed for partial or complete demolition and any other buildings/structures on the property.
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- Photographs of structural deficiencies of building/structure proposed for partial or complete demolition.
- Structural evaluation report prepared by a certified engineer or architect.
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Design Review COA

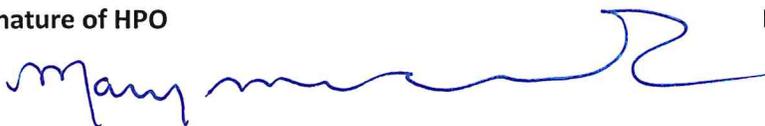
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- Photographs of all exterior structural/architectural elements proposed for repair or replacement rehabilitation

STAFF RECOMMENDATION

The Historic Preservation Officer recommends approval of the demolition permit request for the two-story entry porch and stairwell roofs with the condition that plans for the new porch and roofs are provided to the Historic Preservation Commission for design review.

The Historic Preservation Officer recommends approval of the design and materials of the new porch and roofs as presented herein and incorporating the SHPO's informal comments.

Signature of HPO

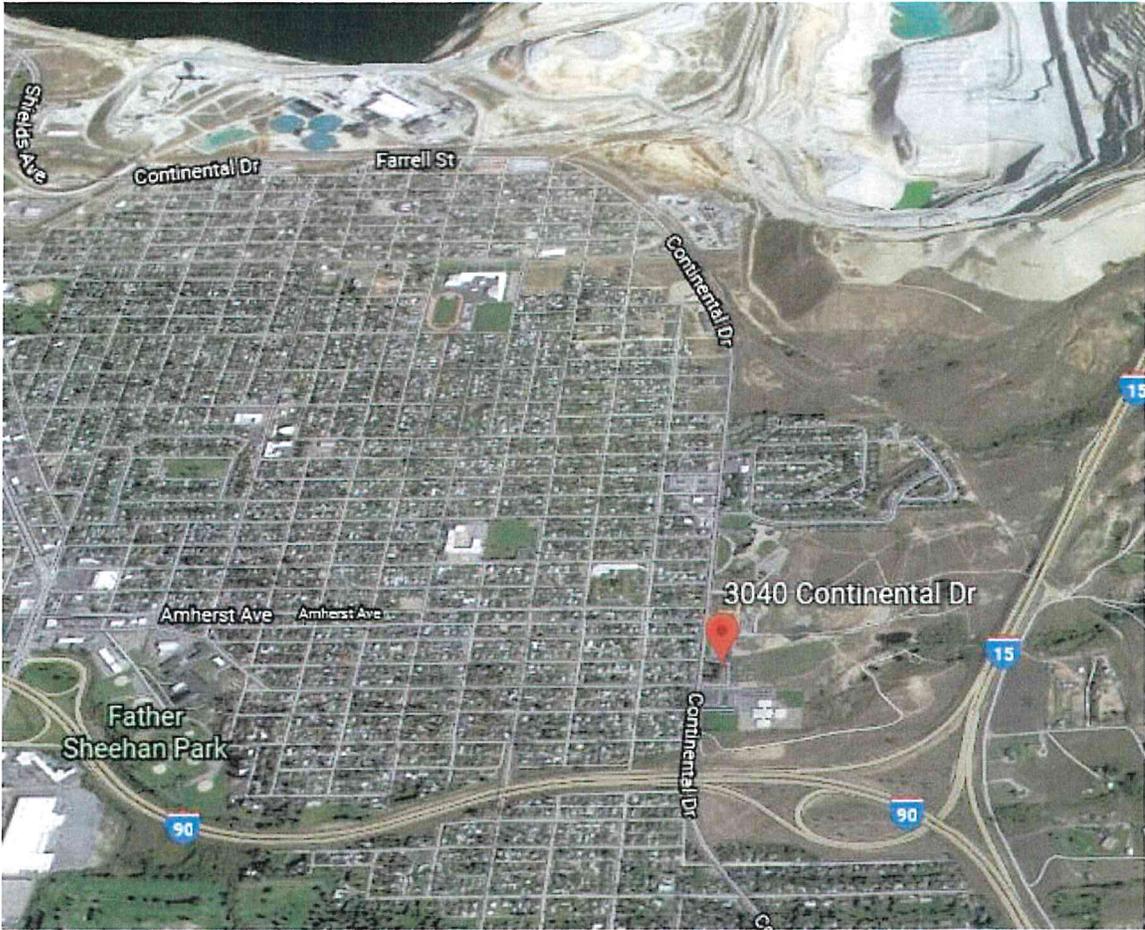


Date

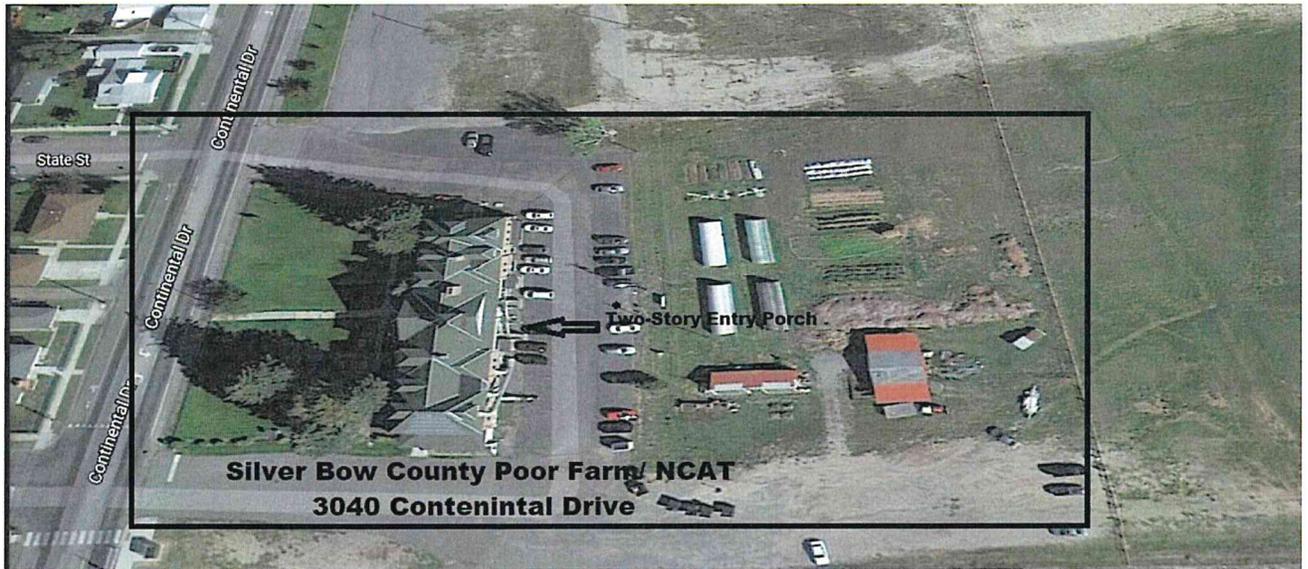
May 1, 2020

Signature of Applicant/Owner

Date



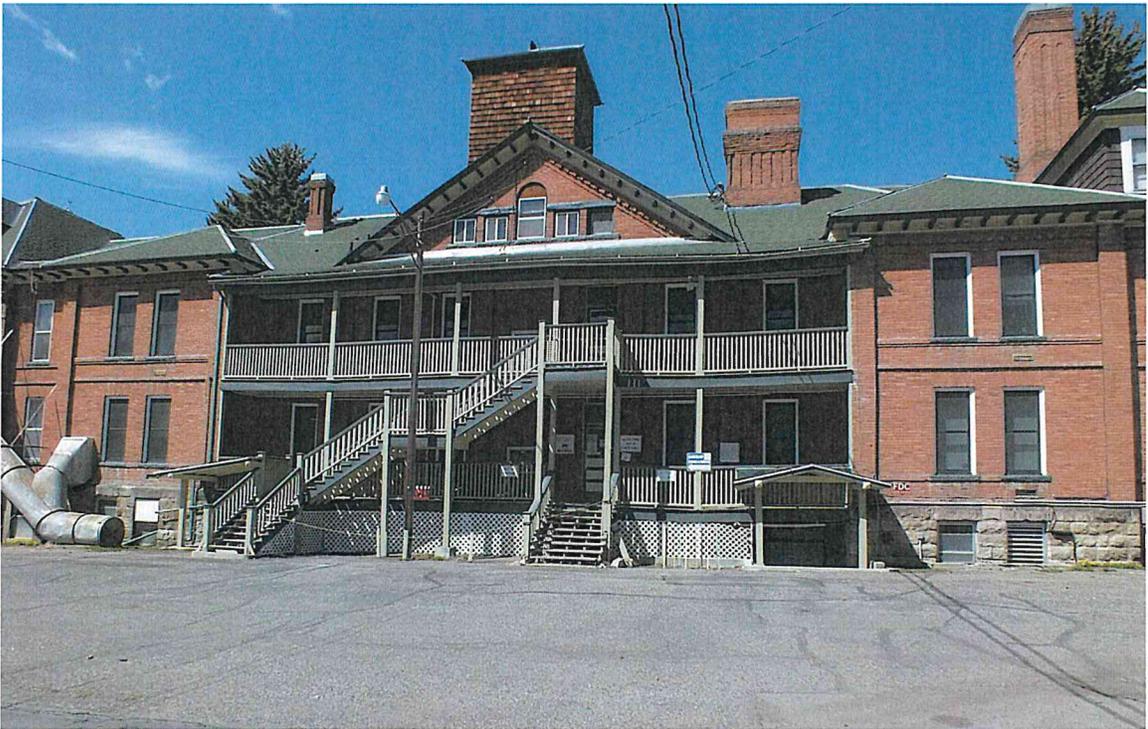
Locational Map



Site Map



East façade, showing two-story entry porch at center. View to south-southwest



Two-story entry porch. View to west.

McCormick, Mary

From: Brown, Peter <pebrown@mt.gov>
Sent: Thursday, April 30, 2020 11:02 AM
To: Rodney Blake
Subject: RE: [EXTERNAL] Re: NCAT (19-116)

Rodney,

I'm buried right now, thanks for understanding that. Sorry I didn't get back to you since your call.

In the absence of federal funds, our comments on your project are advisory only. Local design review might have some teeth and comments that differ from mine.

I don't know if what we see today is a historic assembly. I imagine something like it was always on the building. Regardless, any new work required to meet code can probably be done under the Rehab Standards. SHPO would recommend detailing work in a way that is historic in character and consistent with detailing we see elsewhere on the building.

On this building, we recommend against rough-sawn wood, conspicuously visible gussets, gang-nail plates, clunky Simpson hardware, plywood. Beadboard (true beadboard or plywood with a beadboard profile) soffit on your awning and paint might hide or draw less attention to those tell-tale modern things. Maybe you can pick up whatever motifs you see elsewhere on the building. Those 4X4 ends cut to a point on existing awnings are a nice one.

Some level of contemporary material might be permissible, like Trex, but that's a question for the locals to answer. It might be worth a conversation with Mary McCormick before you go before the board.

By commenting here, I'm not endorsing your design or refuting what the local board might recommend. I'm just offering SHPO's \$.02 at your request.

Thanks for asking!

Pete

From: Rodney (Rodney Blake) <Rodney.Blake@tdhengineering.com>
Sent: Thursday, April 30, 2020 10:45 AM
To: Brown, Peter <pebrown@mt.gov>
Subject: RE: [EXTERNAL] Re: NCAT (19-116)

Pete,
Sounds like you're pretty busy. I got your phone message and left one myself. I did confirm that the funds for this project are not Federal Funds. However, I will update our plans to include some paint to accentuate the gable end purlins more at the entry. This should help tie it in to the existing gable roof above. Can you put this comment and any others you have in a quick email so that I can have that information to pass on to the Butte/Silverbow Historical Preservation office?

Thanks,
Rodney

6

United States Department of the Interior
Heritage Conservation and Recreation Service

For HCRS use only

National Register of Historic Places
Inventory—Nomination Form

received

date entered

See instructions in *How to Complete National Register Forms*
Type all entries—complete applicable sections

24SB254

1. Name

historic Silver Bow County Poor Farm Hospital

and or common National Center for Appropriate Technology

2. Location

street & number 3040 Continental Drive not for publication

city, town Butte vicinity of congressional district

state Montana code county Silver Bow code

3. Classification

Category	Ownership	Status	Present Use
<input type="checkbox"/> district	<input checked="" type="checkbox"/> public	<input checked="" type="checkbox"/> occupied	<input type="checkbox"/> agriculture
<input checked="" type="checkbox"/> building(s)	<input type="checkbox"/> private	<input type="checkbox"/> unoccupied	<input type="checkbox"/> commercial
<input type="checkbox"/> structure	<input type="checkbox"/> both	<input type="checkbox"/> work in progress	<input type="checkbox"/> educational
<input type="checkbox"/> site	Public Acquisition	Accessible	<input type="checkbox"/> entertainment
<input type="checkbox"/> object	<input type="checkbox"/> in process	<input type="checkbox"/> yes: restricted	<input type="checkbox"/> government
	<input type="checkbox"/> being considered	<input checked="" type="checkbox"/> yes: unrestricted	<input type="checkbox"/> industrial
		<input type="checkbox"/> no	<input type="checkbox"/> military
			<input type="checkbox"/> museum
			<input type="checkbox"/> park
			<input type="checkbox"/> private residence
			<input type="checkbox"/> religious
			<input checked="" type="checkbox"/> scientific
			<input type="checkbox"/> transportation
			<input type="checkbox"/> other:

4. Owner of Property

name Butte-Silver Bow

street & number Butte-Silver Bow Courthouse

city, town Butte vicinity of state Montana

5. Location of Legal Description

courthouse, registry of deeds, etc. Clerk & Recorder

street & number Butte-Silver Bow Courthouse

city, town Butte state Montana

6. Representation in Existing Surveys

title none has this property been determined eligible? yes no

date federal state county local

depository for survey records

city town

7. Description

Condition		Check one	Check one
<input type="checkbox"/> excellent	<input type="checkbox"/> deteriorated	<input type="checkbox"/> unaltered	<input checked="" type="checkbox"/> original site
<input checked="" type="checkbox"/> good	<input type="checkbox"/> ruins	<input checked="" type="checkbox"/> altered	<input type="checkbox"/> moved date _____
<input type="checkbox"/> fair	<input type="checkbox"/> unexposed		

Describe the present and original (if known) physical appearance

The Silver Bow County Poor Farm Hospital is a 2-1/2 story brick structure on an elevated base. It is a rectangular building sitting parallel to Continental Drive on the east side of the street. The hospital is set back from the street by a landscaped yard. Parking lots and driveways surround the rest of the building and behind the back parking lot is a field which once was the site of other poor farm buildings and gardens and is now the site of recently built experimental buildings of the National Center for Appropriate Technology. Only the hospital and the front yard are being nominated.

The hospital is built in three main sections: the central (original) section and virtually identical additions built onto the north and south ends. The central section, built in 1902, is brick bearing wall construction on a granite base. The red brick is layed up in American bond and features terra cotta string courses in rope and egg and dart designs. The symmetric front facade features a brick arched entry porch to the first floor, which is original, and a glass enclosed porch above, which was built in the late 1930's. The rear, or east, facade has a wood porch which was built by the Works Progress Administration and which replaced the original wood porch. Window openings have granite sills and brick jack arch heads. The wood shingled roof is a multi-ridge hipped roof with gables over the front and rear entries. Each gable end has a set of windows in the Palladian motif. The roof is punctured by corbelled brick chimneys and hipped dormers.

In 1917-18 the north wing was built. The south wing had been built several years before. The basement walls of the additions are concrete, rather than granite, but the additions match the original building in brick, string courses, window openings, hipped roof and dormers. The north wing has a small brick arched entry porch on its north side which is original to the wing. The south wing has a wood frame garage and glass enclosed porch on its south side. These frame additions were built shortly after World War II.

The original portion of the building had boiler room, laundry, storage, kitchen, and dining room in the basement; offices, patients' rooms, and small wards on the first floor; operating room, patients' rooms, and small wards on the second floor; and wards in the attic. The original operating room, located in the northeast corner of the second floor, had a skylight which is still in place but has been covered. The rooms are arranged along a double-loaded corridor. Originally, vertical access was provided by a central stairway and an adjacent dumb waiter. The south wing included an additional set of stairs, larger dining room in the basement, bathrooms on the first and second floors, a new dumb waiter, and larger wards on the first, second and attic floors. The north wing included an additional set of stairs, laboratory and new boiler room in the basement, new operating room on the first floor, and large wards on the second and attic floors.

United States Department of the Interior
Heritage Conservation and Recreation Service

**National Register of Historic Places
Inventory—Nomination Form**

For HCERS use only

received

date entered

Continuation sheet One

Item number 7

Page Two

When the hospital was constructed, its ventilation system was boasted. The elements of this system are still in place, although they have been sealed off. Each room had a vent in the wall below each window. Air from these vents passed into the building, beneath the floor, through another vent in the baseboard of the corridor wall, and into the room. This supply of fresh air was drawn into the building by the force of the chimney effect of the exhaust vent. The exhaust vent was located in the brick chimney next to the boiler flue. Warming of the exhaust air by the boiler flue enhanced the chimney effect. Exhaust air was drawn into the exhaust vent by means of operable louvers in the corridor ceilings. Both the north and south wings also were equipped with vent stacks which drew air from the corridors and the larger wards.

Numerous alterations were made in the building while it was a hospital. As noted above, glass enclosed proches were added in the west and south. Tubular fire escapes were added on both the east and west sides at the south end. A passenger/freight elevator was installed at the location of the original central staircase. An elevator tower sits on the roof. When the hospital was adapted to the office facility of the National Center for Appropriate Technology, no exterior changes were made and only minor interior changes were made. Some old bathrooms were removed and new bathrooms installed. Some old room partitions were removed and vestibules and closets added. The building has been re-wired and today meets all codes.

8. Significance

Period	Areas of Significance—Check and justify below			
<input type="checkbox"/> prehistoric	<input type="checkbox"/> archeology-prehistoric	<input type="checkbox"/> community planning	<input type="checkbox"/> landscape architecture	<input type="checkbox"/> religion
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> archeology-historic	<input type="checkbox"/> conservation	<input type="checkbox"/> law	<input type="checkbox"/> science
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> agriculture	<input type="checkbox"/> economics	<input type="checkbox"/> literature	<input type="checkbox"/> sculpture
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> architecture	<input type="checkbox"/> education	<input type="checkbox"/> military	<input checked="" type="checkbox"/> social/
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> art	<input type="checkbox"/> engineering	<input type="checkbox"/> music	<input type="checkbox"/> humanitarian
<input checked="" type="checkbox"/> 1800-1899	<input type="checkbox"/> commerce	<input type="checkbox"/> exploration/settlement	<input type="checkbox"/> philosophy	<input type="checkbox"/> theater
<input type="checkbox"/> 1900-	<input type="checkbox"/> communications	<input type="checkbox"/> industry	<input type="checkbox"/> politics/government	<input type="checkbox"/> transportation
		<input type="checkbox"/> invention		<input type="checkbox"/> other (specify)

Specific dates 1902 Builder/Architect C.S. Haire, Architect

Statement of Significance (in one paragraph)

Specific Dates 1902 Builder/Architect C.S. Haire, Architect

The Silver Bow County Poor Farm Hospital, built in 1902, is significant as a representative of the development of Poor Farms around the state of Montana. It is the only known remaining Poor Farm structure in the state. In addition, the building was designed by C.S. Haire of the Helena firm, Link & Haire, Montana's most significant architectural firm.

During Montana's territorial period the counties were directed to care for the poor and empowered to construct hospitals, establish poor farms, and grant relief. These provisions were carried into statehood as the 1889 Constitution directed the counties to "provide as may be prescribed by law for those inhabitants, who by reason of age, infirmity, a misfortune, may have claims upon the sympathy of society." Until the construction of the Poor Farm Hospital in 1902, Silver Bow County maintained a poor farm and a nearby "pest house" (a quarantine house, the foundation of which can still be found 2,000 feet to the NE) and hired the services of a nurse and a doctor. Hospitals during that period were privately owned and operated, either by churches or other private individuals. Hospital care for the poor was contracted out to the three private hospitals in the county. The fact that Silver Bow County would build a public hospital attests to its large size and its high percentage of poor and foreign born.

At the turn of the 20th Century, Silver Bow County was the largest in the state. Silver Bow County also had the largest percentage of foreign born of any county in the state and the largest percentage of people with foreign born parents of any county in the state. Furthermore, Silver Bow County had the highest percentage of its population admitted to its Poor Farm and of those admitted, over half were foreign born, a much higher percentage than the state average. The fact that Silver Bow County led the state in these statistics can be attributed to the mining activity in Butte, the county seat. At the turn of the century, the Butte Hill was the largest producer of copper in the world. A large number of immigrants from Ireland, England, Canada, Scandinavia, Eastern and Southern Europe, China and Mexico were attracted to Butte to work in the mines and mine-related business. Underground mining is very dangerous and helps to explain why a large number of those serviced by the Silver Bow Hospital were admitted with seemingly mining-related injuries.

United States Department of the Interior
Heritage Conservation and Recreation Service

**National Register of Historic Places
Inventory—Nomination Form**

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received
date entered

Continuation sheet

Two

Item number 8

Page Two

In 1901, St. James Hospital, St. Paul's Hospital, and the Murray and Freund Hospital, all of Butte, submitted bids to provide emergency hospital care to the poor. Murray and Freund was awarded the contract. That same year, the county commissioners asked C.S. Haire of the Helena architectural firm, Link & Haire, to submit plans and specifications for a new hospital comparable to that which had recently been built in Helena. (Lewis & Clark County, the county seat of which is Helena, had the second largest poor farm in the state during that period.) The firm, Link & Haire, designed many of Butte's most prominent buildings including the County Courthouse, the Masonic Temple, and Silver Bow Homes, a 1930's public housing project.

Butte architect M.D. Kerns was selected as supervisor of construction, Shackleton & Whiteway was awarded the contract for construction for \$9863.00, and construction began in September of 1901. In July of 1902 construction was complete and the building accepted by the county. Roughly a decade later the south wing was constructed. The north wing was designed by Butte architect, John E. Seaquist.

The Silver Bow County Poor Farm continued to operate until the mid-1930's when state laws changed the care for the poor to our current system of welfare. The hospital, however, continued as the county's welfare hospital until a new county hospital was built in 1956. At that time the old county hospital became the county nursing home and was used in that capacity until a new county nursing home was built adjoining the new county hospital in 1975. The old county hospital sat vacant for two years until it was leased to the National Center for Appropriate Technology as its national headquarters. Today, the building is fully occupied with offices, library, shops and laboratories.

10. Geographical Data

Acreage of nominated property 1/2 acre

Quadrangle name Homestake MT

Quadrangle scale 1:24,000

UMT References

A

1, 2	3 84	9, 0, 5	5, 0	9, 3	1, 8, 0
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Zone Easting Northing

B

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Zone Easting Northing

C

--	--	--	--	--	--

D

--	--	--	--	--	--

E

--	--	--	--	--	--

F

--	--	--	--	--	--

G

--	--	--	--	--	--

H

--	--	--	--	--	--

Verbal boundary description and justification

The property being nominated includes the hospital building and the landscaped front yard. It is a total area of land about 210 ft. (NS) by 155 ft. (EW) along the east side of the ~~3000 block of Continental Drive.~~

List all states and counties for properties overlapping state or county boundaries

state _____ code _____ county _____ code _____

state _____ code _____ county _____ code _____

11. Form Prepared By

name/title Fredric L. Quivik, Building Recycling Specialist

organization National Center for Appropriate Technology date July 24, 1980

street & number P.O. Box 3838 telephone 406/494-4572

city or town Butte state MT

12. State Historic Preservation Officer Certification

The evaluated significance of this property within the state is:

national state local

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the Heritage Conservation and Recreation Service.

State Historic Preservation Officer signature _____

title _____ date _____

For HCRS use only

I hereby certify that this property is included in the National Register

date _____

Keeper of the National Register _____

Attest: _____ date _____

Chief of Registration _____

**National Register of Historic Places
Inventory—Nomination Form**

For HCERS use only

received

date entered

Continuation sheet Three

Item number 9

Page Two

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**BUTTE-SILVER BOW HISTORIC PRESERVATION OFFICE
CERTIFICATE OF APPROPRIATENESS APPLICATION**

- Demolition Review COA
 Design Review COA

OWNER INFORMATION

Name: Bella Vino Real Estate LLC
Address: 3515 Quincy Street
City: Butte **State:** Montana
Phone: **E-Mail (optional):**

APPLICANT INFORMATION (If different from owner)

Name:
Address:
City: **State:** **Zip:**
Phone: **E-Mail (optional):**

PROPERTY INFORMATION

Address: 800 Utah Avenue; Casagrande's Steakhouse
Addition/Block/Lot:
Other Legal Description:

HISTORIC STATUS

- National Register Listed** **Individually**
 Contributing to Butte-Anaconda National Historic Landmark District
National Register Eligible **Individually**
 Contributing to
Local Register Listed

SCOPE OF WORK (Describe the proposed project in detail. Insert or attach maps, drawings, reports, photographs or other materials as specified by the "SUBMITTAL REQUIREMENTS CHECKLIST" section of this form).

The property owner is seeking a grant from the East Butte Renovation and Redevelopment Agency (East Butte RRA) to assist with rehabilitation of two loading docks at the three-story brick masonry warehouse, 800 Utah Avenue, that currently houses Casagrande's Steakhouse. Constructed about 1900, the warehouse was originally owned and used by the Hennessey Mercantile Company. It is one of several large historic warehouses remaining in this industrial section of the Landmark District, southeast of the Uptown's commercial core.

The warehouse's docks were originally used for loading goods and materials in and out of the building. One of the docks is on the north side of the warehouse next to a former railroad spur, now an alley. Constructed of concrete, it currently provides access to the restaurant. A long section of this dock at its eastern end is sloped, creating a ramp. The north dock has two concrete staircases, one at the west end where it lands at

COA Application, page 2

the sidewalk along Utah, and the other near center where it lands at the alley. A modern railing lines the western half of the north dock. It has metal posts and rails and decorative emblems.

The other dock is on the west side of the warehouse next to Utah. It is a wooden dock with a wooden staircase at its south end. The staircase has a quarter turn to the west so that it lands at the front sidewalk. The west dock is in poor condition and is currently blocked to access from the north dock. It is without railings.

Both docks have shed roofs with wood rafters and purlins supported by a series of large wooden knee braces. The roofs were resurfaced in the recent past with standing seam metal sheeting. Snow loads extensively damaged the roofs last winter.

The property owner proposes to rehabilitate the docks to address damage to the roofs as well as improve access to the steakhouse. Work elements include:

- Docks: Replace the existing wooden west dock with a new dock made of wood. The north concrete dock will be retained but resurfaced with a 5" concrete slab; the concrete ramp at its east end will also be resurfaced with concrete to a slope that meets ADA standards. Both docks will be faced on the side with bonderized metal and surfaced on the top or floor with Fiborn, a composite wood planking.
- Staircases: The two existing concrete staircases at the north dock (west end and near center) will be removed and replaced with a new main access staircase to be canted at the corner (northwest) where the two docks meet. It will land at the front sidewalk. The existing wood staircase at the south end of the west dock will be replaced with a new wood staircase. This new staircase will be straight and will land at a concrete pad next to the front sidewalk. The staircases and ramp will be surfaced with Fibron.
- Railing: The existing railings at the north dock will be removed, and new metal post railings installed at both docks, including the staircases and ramp.
- Roofs: The existing shed roofs at both docks will be replaced. Similar to the existing roofs, the new roofs will be sheds with wood purlins and rafters. Large wood knee braces, however, will be used only at the north dock's roof. The roofs will be bolstered on each side by a series of timber posts. Wooden arches will span between the post along the outer side of the roofs; they support the outer roof beam. The roof at the main access staircase, where the two docks meet, will be slightly raised and will have a flat at the top.

SUBMITTAL REQUIREMENTS CHECKLIST

Demolition Review COA

- Historic Property Inventory form (*not available*).
- Site map showing footprint of building/structure proposed for partial or complete demolition and any other buildings/structures on the property.
- Photographs of all four facades of building/structure proposed for partial or complete demolition.
- Photographs of structural deficiencies of building/structure proposed for partial or complete demolition.
- Structural evaluation report prepared by a certified engineer or architect.
- Rehabilitation cost estimate prepared by a qualified contractor, or certified architect or engineer.
- Assessment of property's fair market value prepared by a realtor.
- Proof of advertisement for the sale or lease of the property for a period of 90 days.
- Relocation plan.
- Design Review COA for any new buildings or structures proposed for construction.

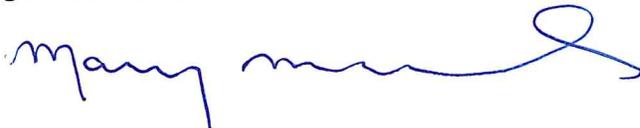
Design Review COA

- Historic Property Inventory form.
- Site map showing footprint of building/structure proposed for rehabilitation and any other buildings/structures on the property.
- Site map showing footprint of building/structure proposed for new construction.
- Elevation drawings of all facades proposed for rehabilitation, indicating window and door placement and types, other structural or stylistic elements, and construction materials.
- Elevation drawings of all four facades of new building/structure proposed for construction, indicating window and door placement and types, other structural or stylistic elements, and construction materials.
- Photographs of all four facades of building/structure proposed for rehabilitation.
- Photographs of all exterior structural/architectural elements proposed for repair or replacement rehabilitation

STAFF RECOMMENDATION

The Historic Preservation Officer recommends approval of the project. Due to its poor condition, the west dock warrants reconstruction so that it will be safe for use again. Reconstruction of the roofs is also necessary due to recent damage.

Signature of HPO

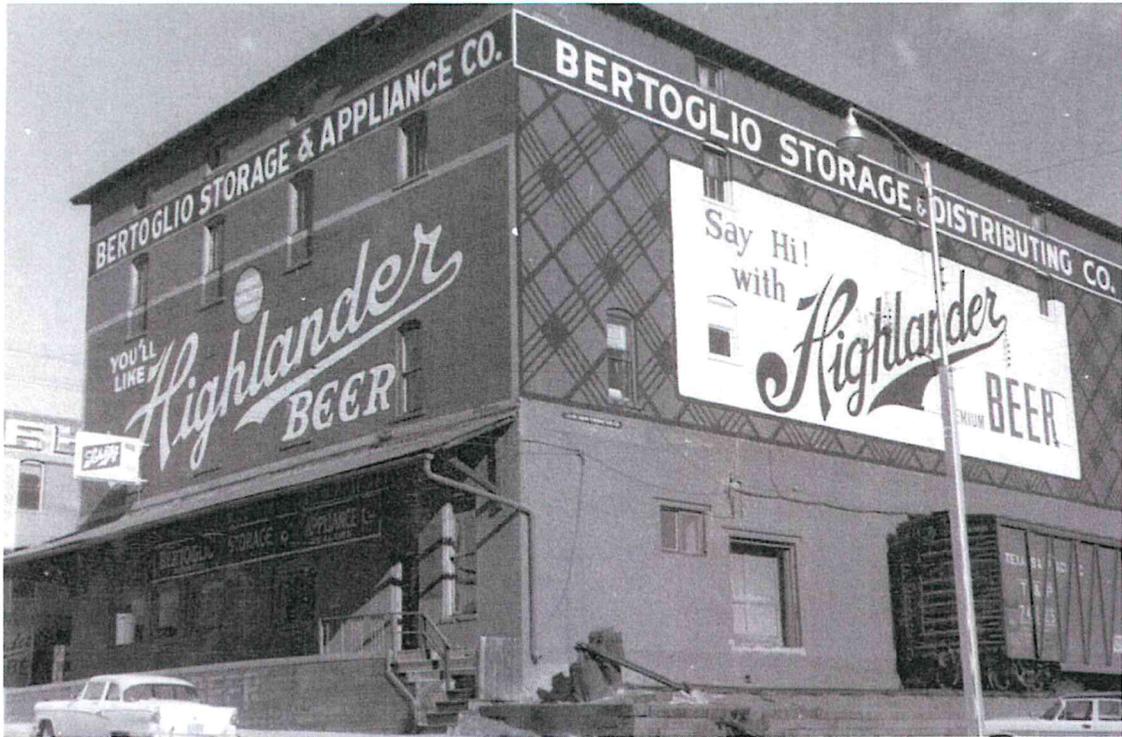


Date

May 1, 2020

Signature of Applicant/Owner

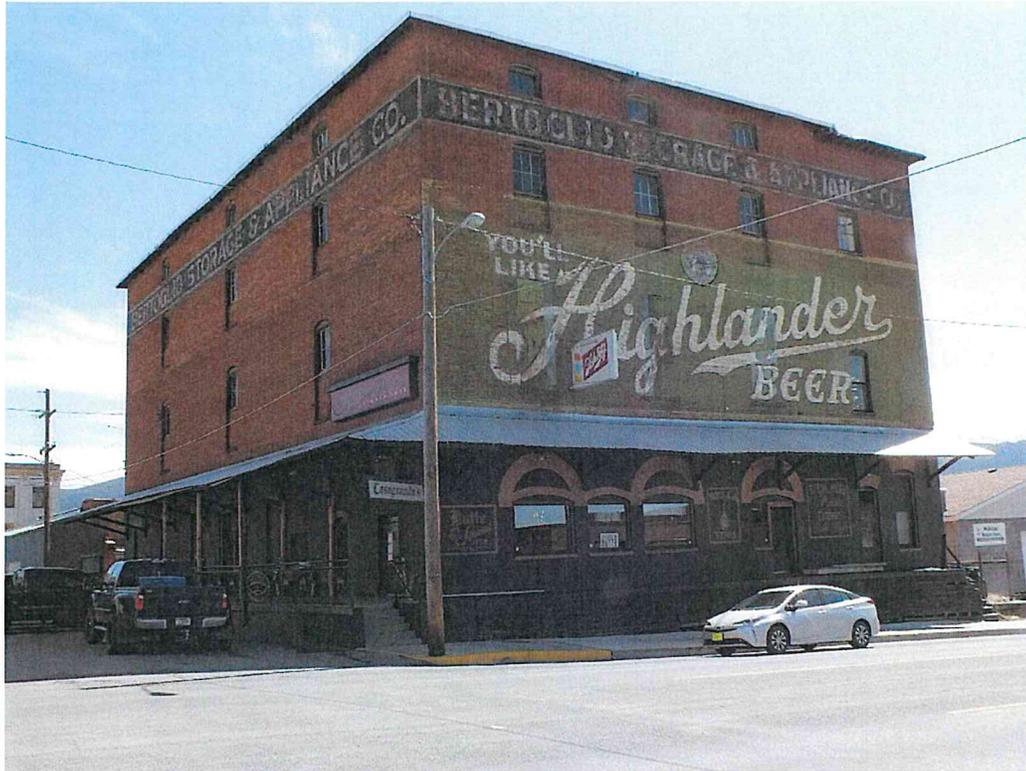
Date



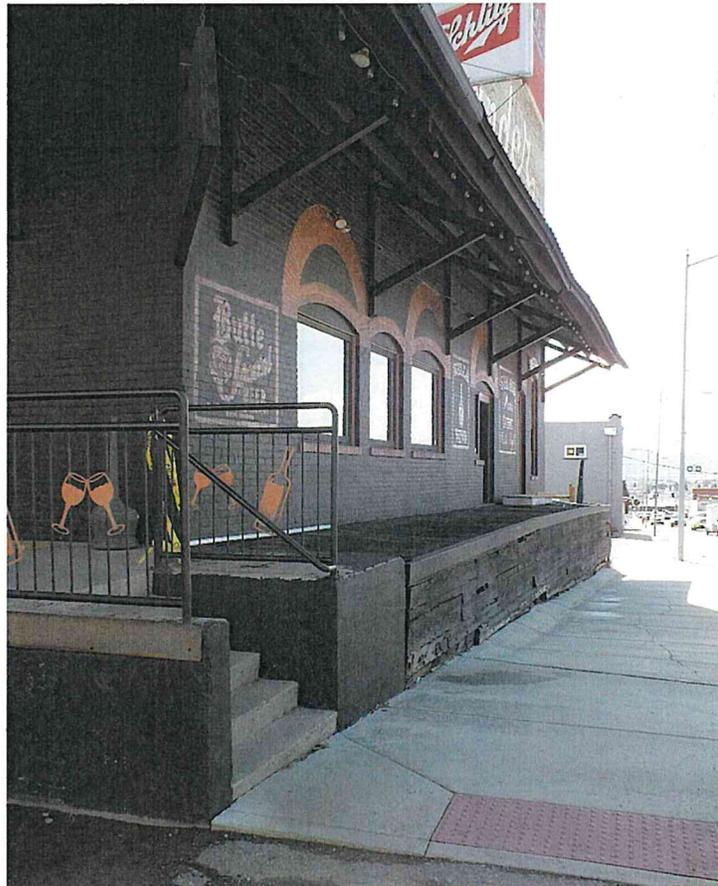
1959 Photograph showing west (Utah Avenue) and south facades.
Silver Bow County Tax Assessment Card. On file, Butte-Silver Bow Public Archives.



West and south facades. View to north east.



West and north facades. View to east-south east.

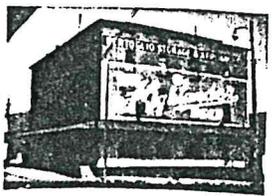


West dock from north end looking to south-southeast.



North dock from east end looking west.

MONTANA HISTORICAL AND ARCHITECTURAL INVENTORY

Legal Description: <u>Block 5 / Lot 1-2 / Central</u>		
Address: <u>804 Utah</u>		
Ownership Name: <u>Bertoglio & McTaggart Storage Co.</u>		
<input checked="" type="checkbox"/> private <input type="checkbox"/> public	address: <u>800 Utah</u>	Roll # ^{DM} <u>4</u> Frame # <u>27</u>

Location map or building plan with arrow north.	Historic Name: _____
	Common Name: _____
	Date of Construction: <u>1900</u> <input type="checkbox"/> estimated <input checked="" type="checkbox"/> documented
	Architect: _____
	Builder: _____
	Original Owner: <u>Hennessy Mercantile Co.</u>
	Original Use: <u>Warehouse</u>
	Present Use: <u>vacant?</u>
	RESEARCH SOURCES: Note all records consulted to determine dates of construction, original owners, builders, uses, etc.
	Abstract of Title: _____
	Plat Records: <u>X</u>
	Tax Records: _____
	Building Permits: <u>A3281</u>
	Sewer/Water Permits: _____
	City Directories: <u>1903</u>
Sanborn Maps: <u>1900, 1916</u>	
Newspapers: _____	
Other: _____	

PHYSICAL DESCRIPTION: Describe present appearance of structure/site, then contrast and compare that with it's original appearance, noting additions, alterations, and changes in materials. Discuss significant architectural features.

This commercial building, a warehouse, has 3½ stories and a (near)-rectangular shape with a metal sheathing covered hip roof and a rubble (partially concrete-covered foundation) and is of masonry construction with brick-(common bond) walls. Windows are double hung one over one and 6 /?-most partially or wholly bricked up or boarded. Signage is painted brick: "Bertoglio Storage...", "Highlander Beer." The southern part of the the building (approx. 1/4) is a later addition. There are exposed rafter ends under the eaves. Most windows are under open brick arches; those on the north and east sides of the first story are under flat arches. There are two freight doors (under I-beam lintels) on the south side, opening on to a railraod spur. There is a concrete loading dock on the north side (along another railroad spur) with two doors and one freight door. There is a wooden loading dock on the west side with three freight doors under full arches later modified to windows (now boarded) under open brick arches. Both loading docks are covered by bracket-supported shed roof.

HISTORICAL INFORMATION: Describe the persons, important events, and/or historical patterns associated with the structure/site and surrounding area.

Building permit A3281 was signed "E.W. Griffin (General Manager, Big Blackfoot Lumber Co.) per W.J. Kennelly (building inspector)". The south addition was made before 1916.

Hennesey Mercantile Co. supported its retail operations with this warehouse and a barn at 116 E. Copper, as of 1903.

Footnote Sources:

Building permit; Sanborn.

INTEGRITY: Assess the degree to which the structure/site, and surrounding area accurately convey the historical associations of the property.

This warehouse maintains historical integrity of design, materials, workmanship, location, setting, feeling and association.

HISTORICAL and/or ARCHITECTURAL SIGNIFICANCE: Justify how the persons, important events, or historical patterns associated with structure/site lend the property significance and/or describe the ways in which the structure embodies the distinctive characteristics of a particular period, building type, or style.

This warehouse is a strongly contributing element of the Butte Historic Landmark District. It is one of seven old brick warehouses along two blocks of Iron St., part of a well-preserved warehouse district street scene.

Warehouses are used for storage, transshipment, and distribution of goods, often being parts of wholesale or transfer firms. Until the mid-20th century the dependence on rail transportation caused many of the warehouses in Butte to be located around the tracks and switchyards of South Butte. Although most of the earliest warehouses were of wood frame construction, many of those built in the early 20th century were of masonry (brick) construction, with a few of reinforced concrete or iron-covered wood frame. Warehouses in Butte are one to five stories. Common features of the brick buildings include flat roofs with parapets, ornamental masonry (such as pilasters, corbelling, and stringcourses), large signs painted on upper walls, and freight doors opening on to railroad sidings and streets. Warehouses of the most recent two or three decades are usually constructed of concrete blocks or metal frame and siding.

FORM PREPARED BY:

Name: Dale Martin

Address: Butte Historical Society

GEOGRAPHICAL INFORMATION:

Acreage: _____

USGS Quad: _____

Casagranda's Steakhouse

Exterior Awning and
Deck Replacement
801 Utah Avenue, Butte, Montana

Project Team

Owner:
Casagranda's Steakhouse
801 Utah Ave.
Butte, MT 59701
(406) 723-4141

General Contractor:
Lee Earhart
Earhart Builders
PO Box 4676
Butte, MT 59702
(406) 494-5987



Architect:
Frank Cikan
Cikan Architects, P.C.
1807 Dickerson St, Suite C
Bozeman, MT 59715
(406) 586-3624



Structural Engineer:
Kerin & Associates, P.C.
517 South 22nd Ave, Suite 4
Bozeman, MT 59718
(406) 586-8407



Municipality:
The City-County of Butte Silver Bow
155 W Granite Street
Butte, MT 59701
(406) 497-6328



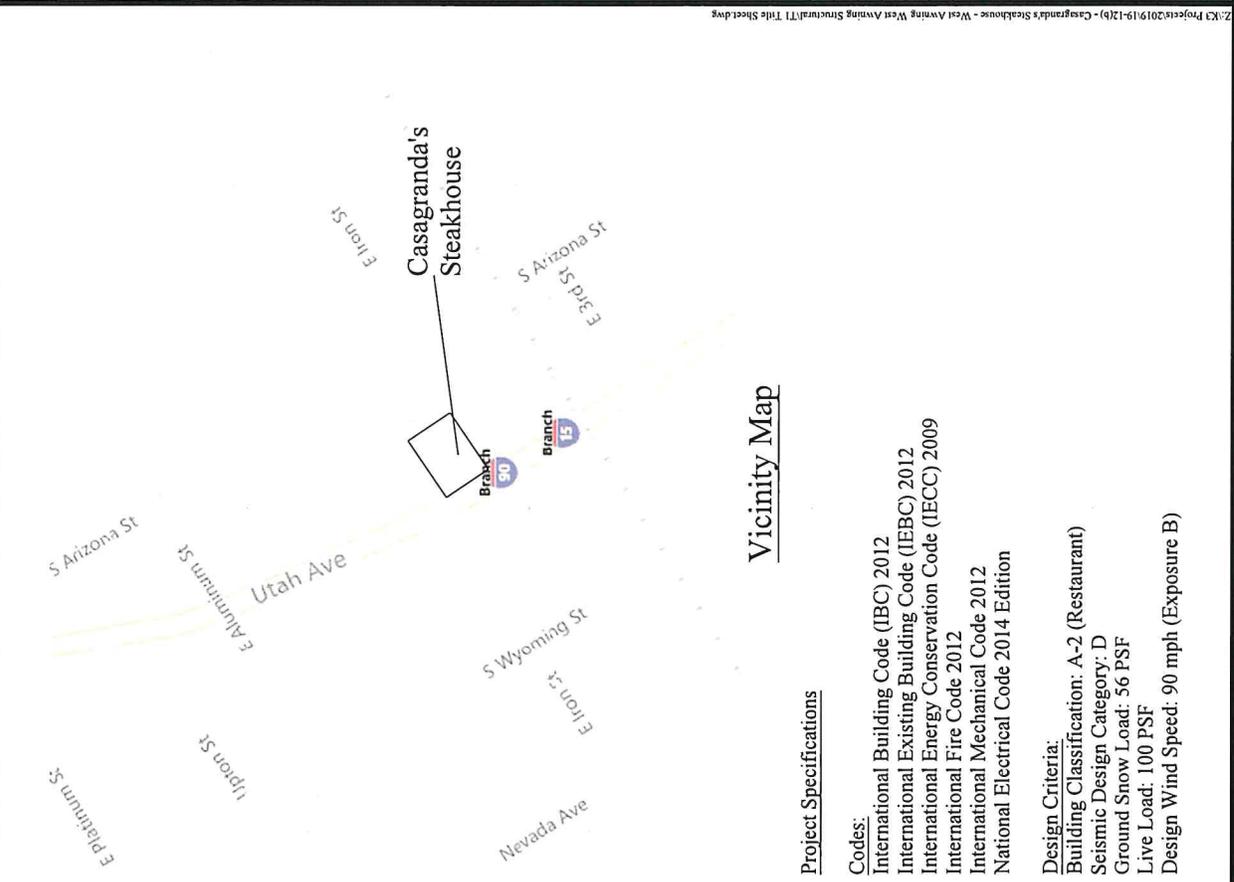
- Sheet Index:**
1. T1 - Title Page
 2. T2 - Site Plan
 3. A1 - Floor Plan
 4. A2 - Roof Plan
 5. A3 - West Elevation
 6. A4 - North Elevation
 7. A5 - Architectural Details
 8. C1 - North Awning Post Framing & Foundation Plan
 9. C2 - North Awning Roof Framing Plan
 10. C3 - West Deck & Awning Foundation Plan
 11. C4 - West Deck Framing Plan
 12. C5 - West Awning Roof Framing Plan
 13. C6 - Northwest Awning Corner Framing Plan
 14. C7 - Saddle Bracket Details
 15. C8 - Saddle Bracket Details
 16. C9 - North Awning Framing & Foundation Sections
 17. C10 - West Deck Framing & Foundation Sections
 18. C11 - West Deck Framing & Foundation Sections
 19. C12 - West Deck Framing Sections
 20. C13 - West Deck Framing Sections
 21. C14 - Awning Corner Framing Sections
 22. C15 - Awning Corner Framing Sections
 23. C16 - Roofing Details
 24. C17 - General Notes



CASAGRANDA'S STEAKHOUSE
EXTERIOR AWNING AND DECK
REPLACEMENT
BUTTE, MT

DATE:	DESCRIPTION
3/17	00 Set

TITLE SHEET
PROJECT #: 19-12
ISSUE DATE: 3/17/20
DRAWN BY: WKV/BJS
CHECKED BY: BJS
SHEET #
1 of 24



Vicinity Map

Project Specifications

- Codes:**
International Building Code (IBC) 2012
International Existing Building Code (IEBC) 2012
International Energy Conservation Code (IECC) 2009
International Fire Code 2012
National Mechanical Code 2012
National Electrical Code 2014 Edition

- Design Criteria:**
Building Classification: A-2 (Restaurant)
Seismic Design Category: D
Ground Snow Load: 56 PSF
Live Load: 100 PSF
Design Wind Speed: 90 mph (Exposure B)

A4

SHEET #
6 of 24

PROJECT # : 19-12
ISSUE DATE: 11/6/20
DRAWN BY: FC
CHECKED BY: FC

NORTH BUILDING
ELEVATION

NORTH ELEVATION

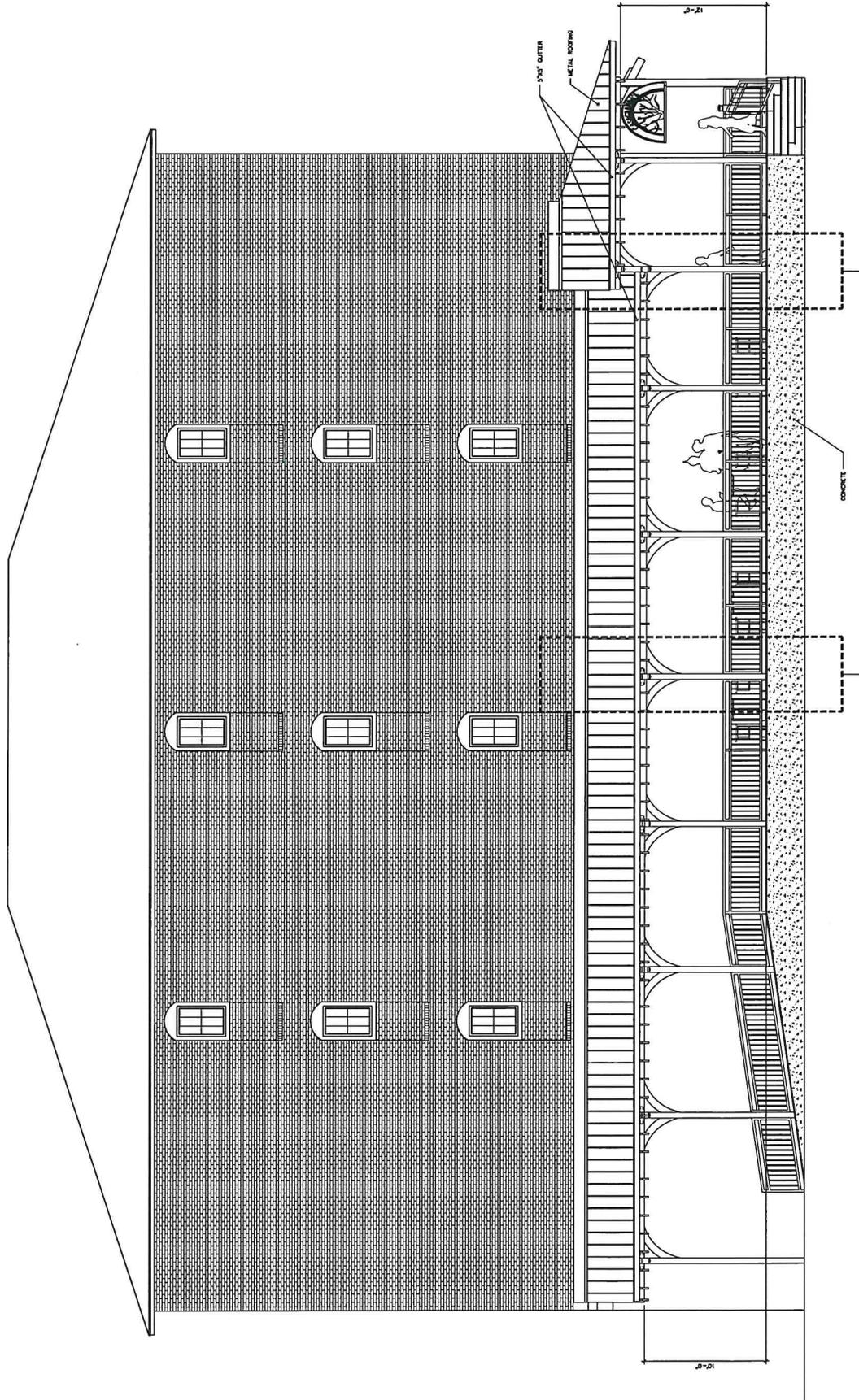
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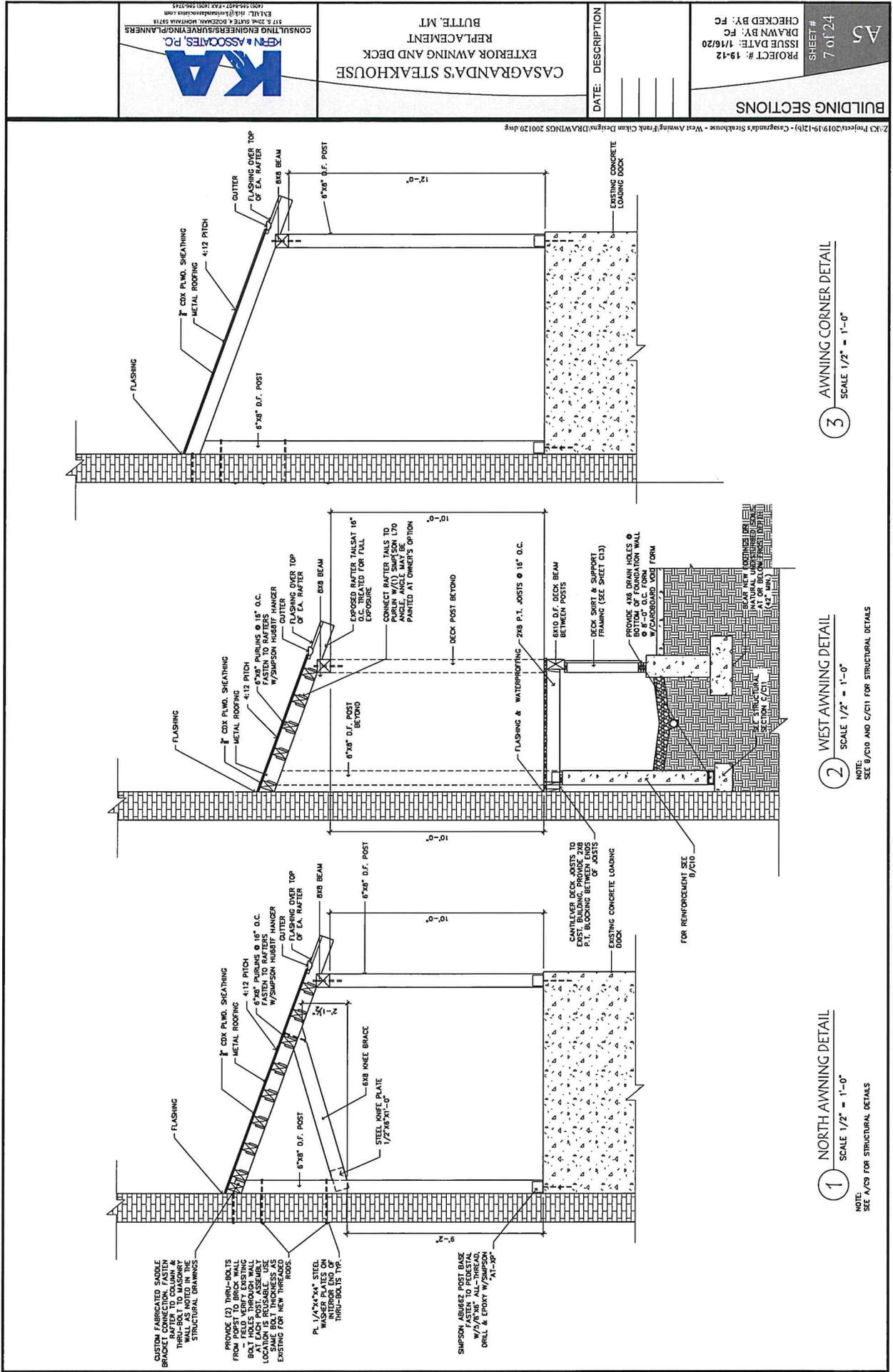
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DATE: DESCRIPTION

CASAGRANDA'S STEAKHOUSE
EXTERIOR AWNING AND DECK
REPLACEMENT
BUTTE, MT

KA
KERN & ASSOCIATES, P.C.
CONSULTING ENGINEERS/SURVEYORS/PLANNERS
317 S. OAK ST. #112 & 1020 MAIN, MONTANA 59718
BUTTE, MT 59701-1020
406.251.4577 FAX 406.251.4574





1 NORTH AWNING DETAIL
SCALE 1/2" = 1'-0"
NOTE: SEE 1/09 FOR STRUCTURAL DETAILS

2 WEST AWNING DETAIL
SCALE 1/2" = 1'-0"
NOTE: SEE 8/010 AND C/011 FOR STRUCTURAL DETAILS

3 AWNING CORNER DETAIL
SCALE 1/2" = 1'-0"

DATE	DESCRIPTION

CASAGRANDA'S STEAKHOUSE
EXTERIOR AWNING AND DECK
REPLACEMENT
BUTTE, MT

X:\Projects\2019\19-12\B - West Awning\Frank Clean Designs\DRAWINGS\200120.Dwg



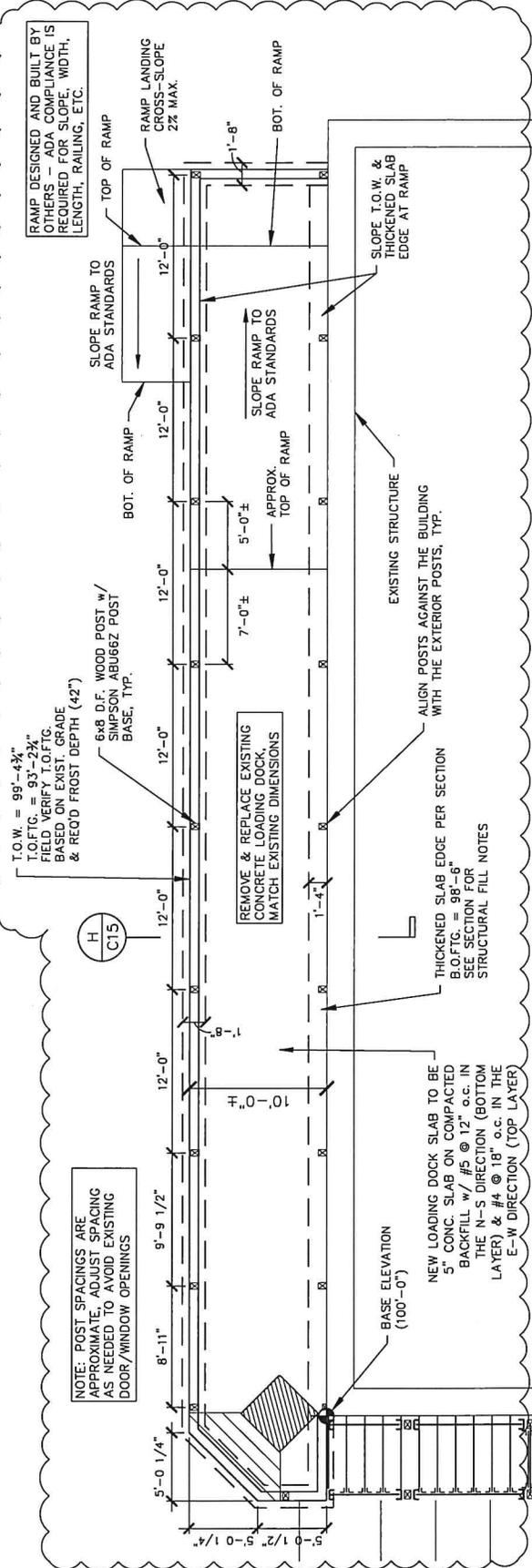
K&A ASSOCIATES, P.C.
 CONSULTING ENGINEERS/SURVEYING/PLANNERS
 517 E. 24th Street, Butte, Montana 59718
 (406) 462-7474 • FAX (406) 462-7474
 E-MAIL: k&a@kandassociates.com

CASAGRANDA'S STEAKHOUSE
 EXTERIOR AWNING AND DECK
 REPLACEMENT
 BUTTE, MT

DATE:	DESCRIPTION
3/17	CD Set
4/10	LD Rev.

NORTH AWNING POST FRAMING PLAN
 PROJECT # 19-12
 ISSUE DATE: 4/10/20
 DRAWN BY: WKV BJS
 CHECKED BY: BJS
 SHEET # 8 OF 24

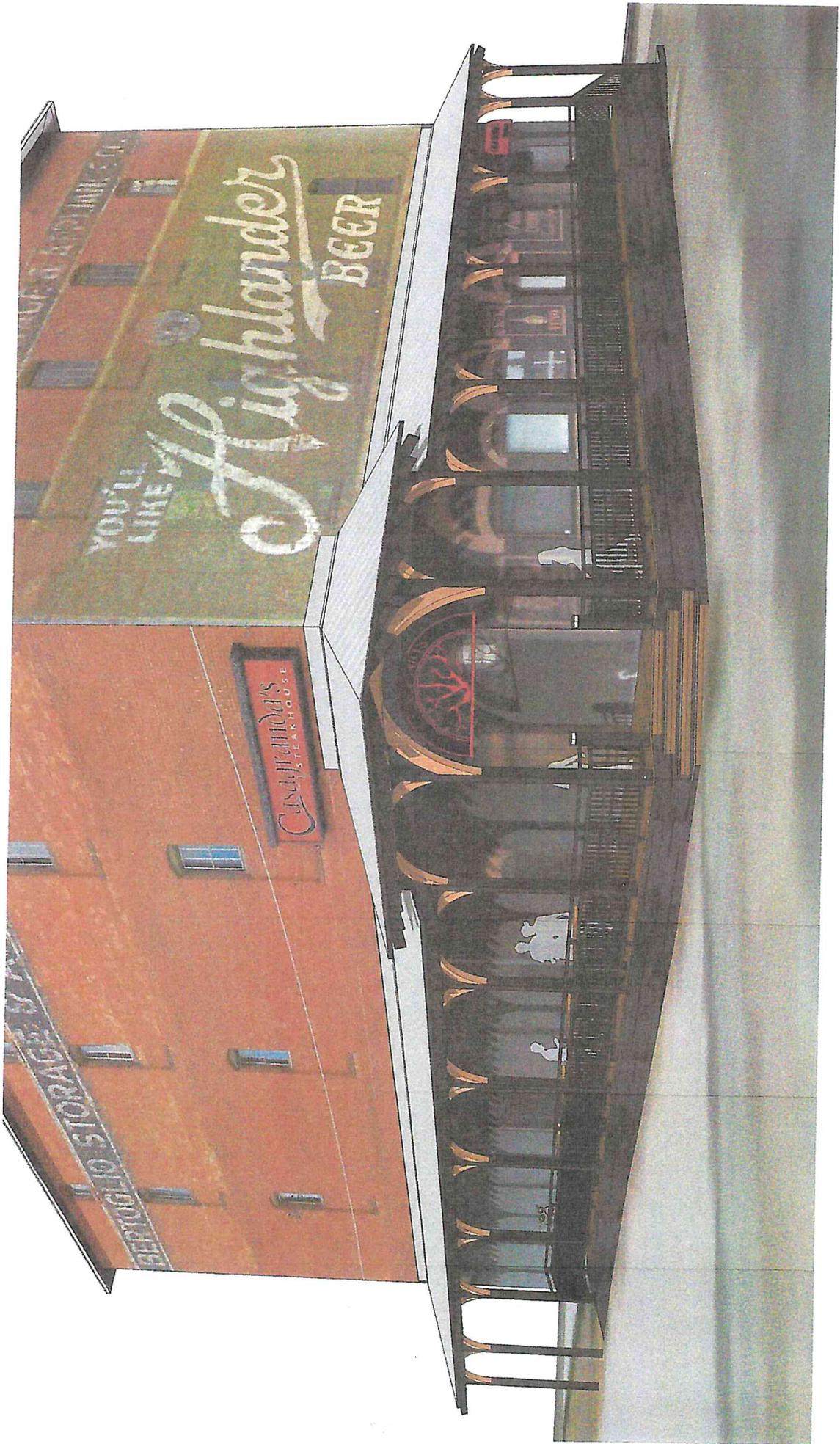
FIELD VERIFY ALL DIMENSIONS



- PLAN NOTES:**
- DO NOT INTERRUPT POSTS. ALL POSTS ARE CONT. FROM ROOF FRAMING TO FOUNDATIONS.
 - ALL ELEVATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO FINAL FRAME UP.
 - ELEVATIONS ARE BASED OFF OF THE EXISTING DOCK ON THE NORTHWEST CORNER OF THE EXISTING BUILDING. THIS LOCATION IS BEING USED AS ELEVATION 100'-0" FOR FRAMING PURPOSES.
 - ALL DIMENSIONAL 2x LUMBER USED IN DECK FRAMING SHALL BE PRESSURE TREATED TO PROTECT AGAINST EXTERIOR EXPOSURE. THIS DOES NOT APPLY TO 6x OR LARGER MEMBERS.
 - ALL CONNECTORS SPECIFIED SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE CORP. ANY SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD.
 - REFER TO REFERENCED SECTIONS FOR ADDITIONAL FRAMING NOTES AND DECK DRAINAGE SYSTEM.

NORTH AWNING POST FRAMING PLAN
 & FOUNDATION PLAN
 SCALE 1/4" = 1'-0"

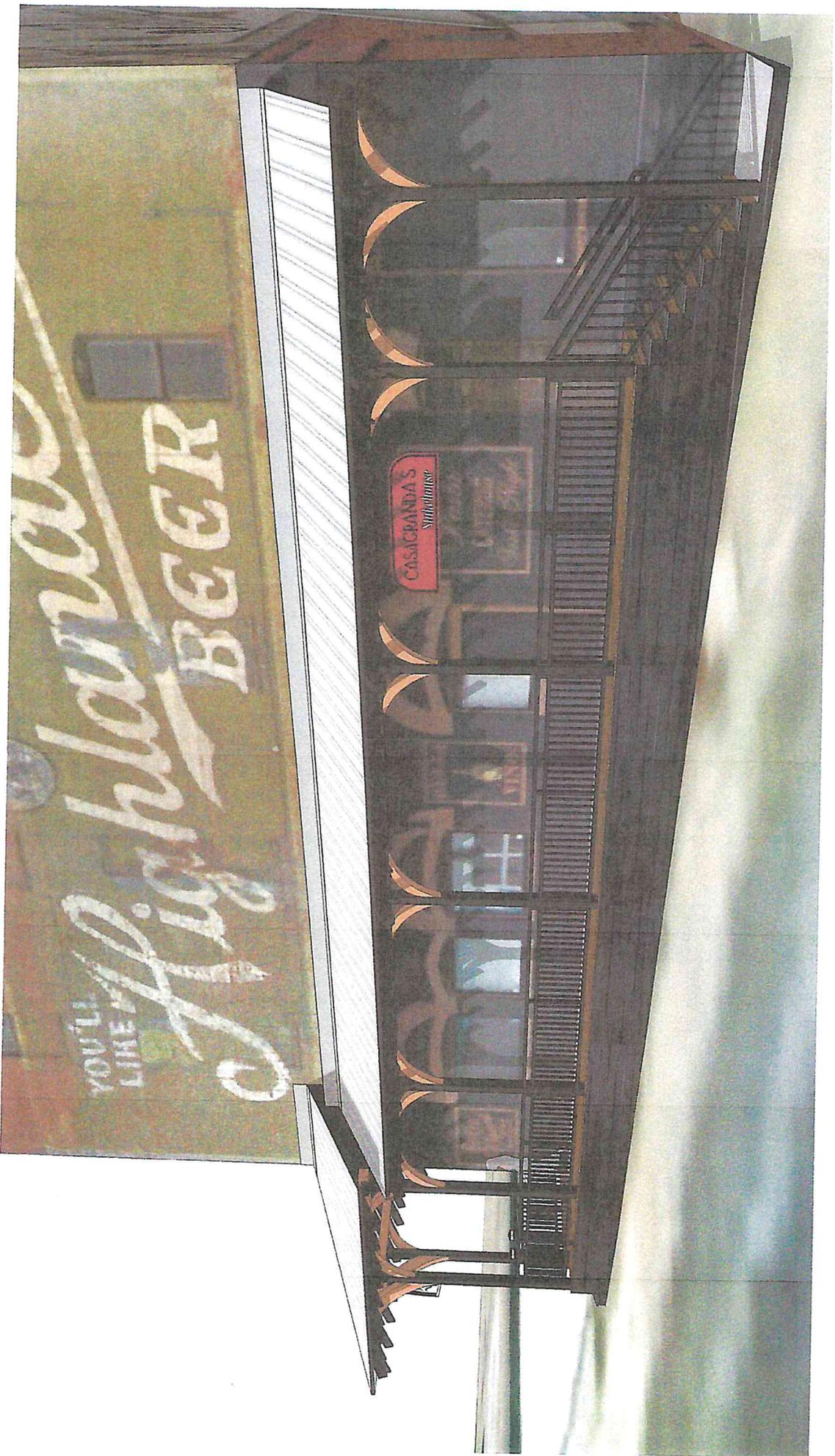
REV. CD SET 4/10/2020





Note:
RUSTED METAL
ROOFING

Note: BONDORIZED METAL



CASACCIANTA'S
Stillhouse

YOU'LL
LIKE
Highlander
BEER