

**HISTORIC PRESERVATION COMMISSION
MEETING AGENDA**

Wednesday, August 2 @ 5:30 PM
155 W. Granite, Council Chambers, 3rd Floor Courthouse

- I. CALL TO ORDER
- II. ROLL CALL
- III. READING/APPROVAL OF THE PREVIOUS MONTH'S MINUTES, July 6, 2016
- IV. PUBLIC COMMENT – ITEMS ON THE AGENDA
- V. NEW/OLD BUSINESS
 - A. AT&T Redesign of Proposed Cellular Equipment on Hennessey Building, 40 E. Granite St.
 - B. GSA Undertaking at Mansfield Federal Building: Fire Suppression Sprinkler System
 - C. GSA Undertaking at Mansfield Federal Building: Design-build Interior Project
 - D. MDT Holmes & Hill/Warren Ave Intersection Reconstruction: Determinations of Eligibility for the Carman & Albena Campanella Residence and the Shamrock Motel
 - E. MDT Brown Gulch Road Reconstruction: Informal comment on proposal to relocate the school
- VI. STAFF/MEMBER REPORTS
- VII. ANNOUNCEMENTS
- VIII. PUBLIC COMMENT – ITEMS NOT ON THE AGENDA
- IX. ADJOURNMENT

2014



**BUTTE-SILVER BOW
HISTORIC PRESERVATION OFFICE
PLANNING DEPARTMENT
155 W. Granite Street Butte, MT 59701
406-497-6258**

May 12, 2014

Terracon Consultants, Inc.
Christopher Watts
10625 W. I-70 Frontage Road N. Suite 3
Wheat Ridge, CO 80033

Re: Installation of Cellular Equipment on the Hennessy Building – Butte, Montana

Dear Mr. Watts:

On May 6, 2014, the Butte-Silver Bow Historic Preservation Commission (HPC) reviewed an "Invitation for Comment on Proposed Rooftop Collocation", and the supporting documents, including photo simulations, for the installation of cellular communications equipment on the roof of the Hennessy Building, 40 E. Granite Street, in Butte, Montana (MTL02618). The HPC undertook this review in support of the Section 106 process as provided by the National Historic Preservation Act, and the Butte-Silver Bow municipal code.

The Hennessy Building is a contributing historic resource within the Butte Historic District. Additional historic properties are located within the vicinity of the Hennessy Building as well. To lessen visual impacts to the building and the surrounding historic district, the applicant proposes to build a screened enclosure around the equipment. The enclosure walls will be colored to match the building's existing brickwork and extend approximately 15 feet above an existing penthouse structure located near the southeast corner of the building.

The HPC concluded that as designed and positioned on the rooftop, the "penthouse" structure will not significantly impact the historic character of the building, and recommended approval of the project.

Thank you for your cooperation.

Sincerely,

Jim Jarvis
Butte-Silver Bow Historic Preservation Officer

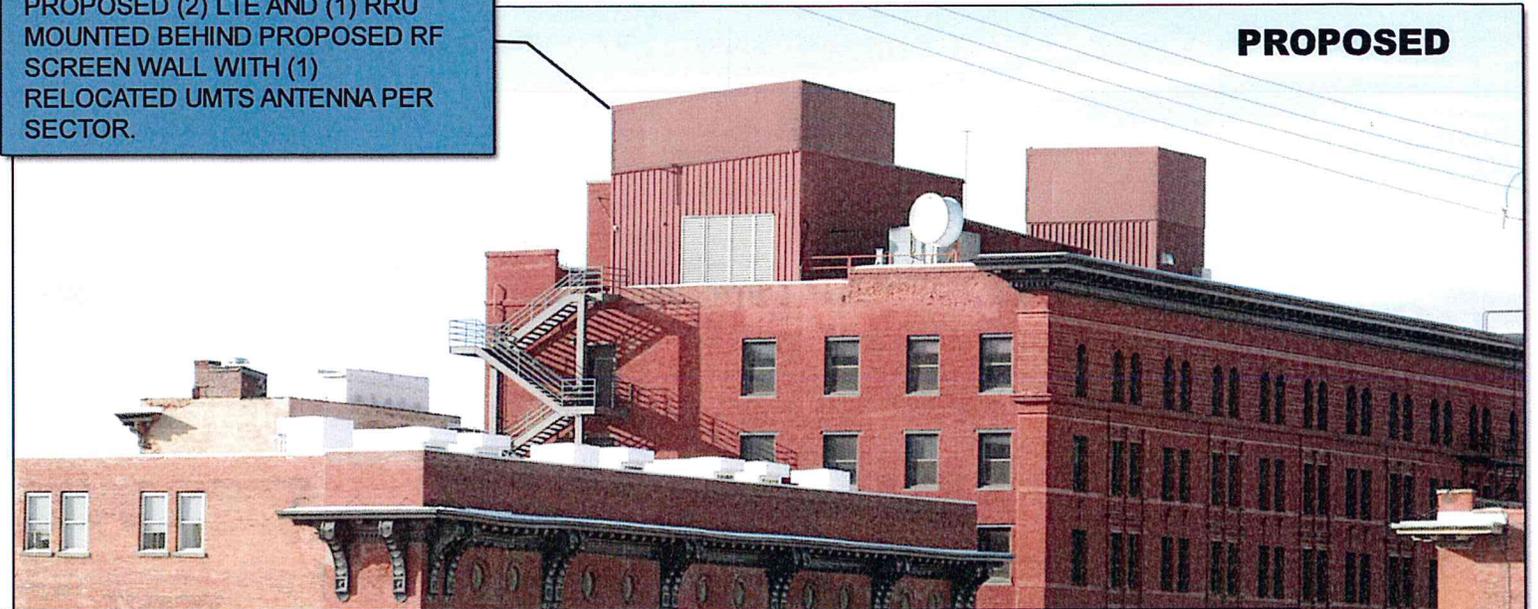
cc:

Jon Sesso, Planning Director
Butte-Silver Bow Building Inspector
Montana State Historic Preservation Office

2014

PROPOSED (2) LTE AND (1) RRU MOUNTED BEHIND PROPOSED RF SCREEN WALL WITH (1) RELOCATED UMTS ANTENNA PER SECTOR.

PROPOSED



EXISTING

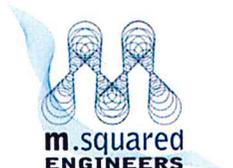


at&t

Your world. Delivered.

**MTL02618
BUTTE MAIN
40 EAST GRANITE
BUTTE, MT 59701**

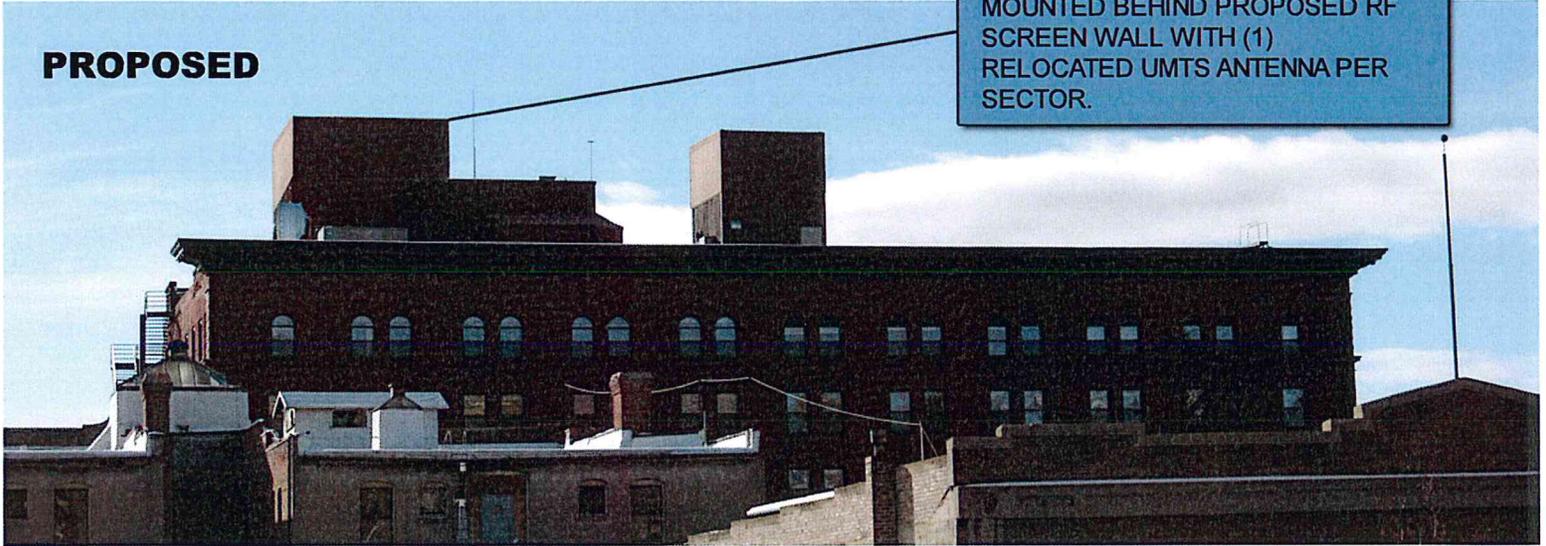
PHOTOSIMULATION EAST VIEW



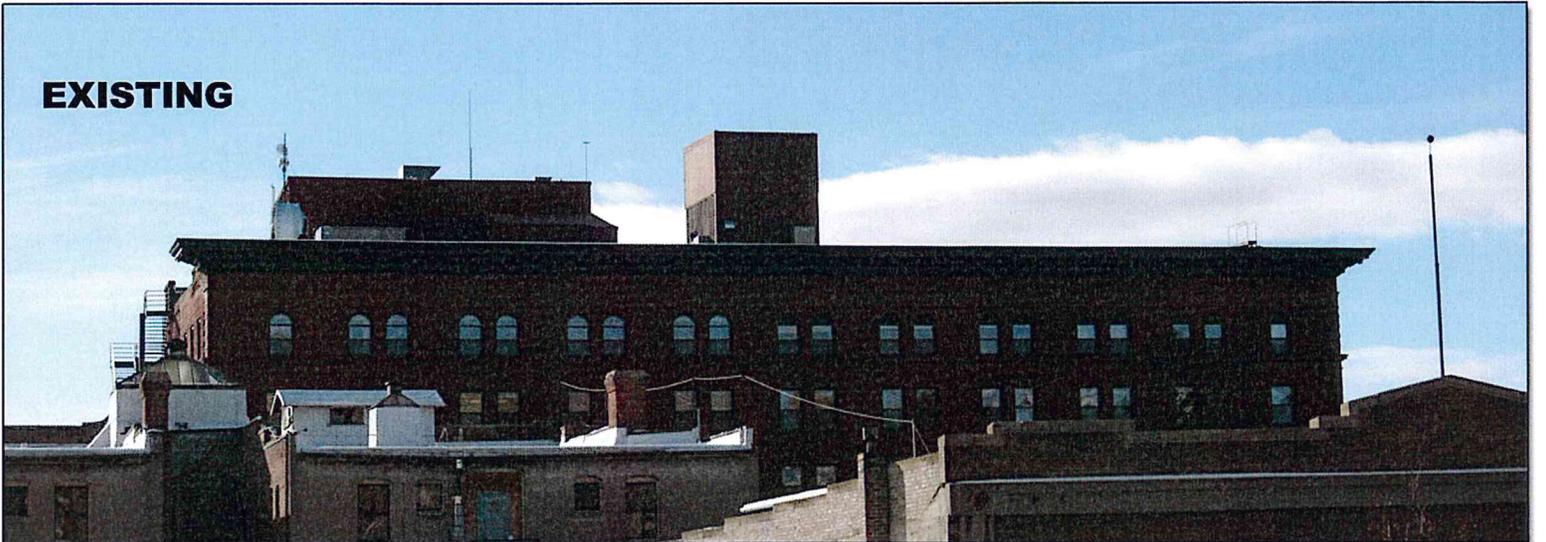
2014

PROPOSED (2) LTE AND (1) RRU
MOUNTED BEHIND PROPOSED RF
SCREEN WALL WITH (1)
RELOCATED UMTS ANTENNA PER
SECTOR.

PROPOSED



EXISTING

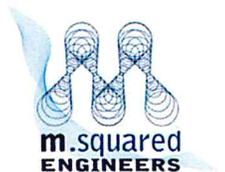


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**MTL02618
BUTTE MAIN
40 EAST GRANITE
BUTTE, MT 59701**

PHOTOSIMULATION NORTH VIEW



2016

McCormick, Mary

From: Watts, Chris I. <Chris.Watts@terracon.com>
Sent: Wednesday, June 29, 2016 12:52 PM
To: McCormick, Mary
Cc: Amy Doner-Baird; Karla Guerrero; Sara Danielson; debra.weiss@mastec.com
Subject: AT&T cell antenna project 40 E. Granite Street Butte Montana
Attachments: Butte-Silver Bow Historic Pres Response 5-12-14.pdf; ButteMain_MTL02618_Photosimulation 2 views.pdf; 100%_CD_MTL02618_Butte Main_07_21_14.pdf

Good afternoon, Ms. McCormick-

I am contacting you regarding a proposed AT&T undertaking that we had originally discussed with Mr. Jim Jarvis of the Butte-Silver Bow Historic Preservation Commission back in 2014 on the building located at 40 East Granite Street, in Butte, Montana. I have attached Mr. Jarvis's response, photosims and original site plans to this email.

AT&T did not move forward with the approved 2014 design and collocation of antennas/equipment has not taken place at the above-referenced address. However, recently AT&T has decided to pursue the proposed collocation upgrade, only to find that their engineering team has structural concerns with the proposed (approved) 2014 rooftop screen design to conceal the rooftop antennas.

We would like to see if there is a time that would be convenient for you to set up a conference call with AT&T to discuss potential design options for this site. Please let me know if you have any availability to discuss your preferences on a site redesign for this collocation of antennas.

Thank you,

Chris Watts
Field Project Manager - Technical
Environmental Department
Terracon Consultants, Inc.
10625 W I-70 Frontage Rd. North, Suite 3
Wheat Ridge, CO 80033
P [303-454-5266](tel:303-454-5266) / F [303-423-3353](tel:303-423-3353)
Chris.Watts@terracon.com
www.terracon.com

From: Jarvis, Jim [<mailto:jjarvis@bsb.mt.gov>]
Sent: Tuesday, July 29, 2014 4:27 PM
To: Watts, Chris I. <ciwatts@terracon.com>
Subject: RE: AT&T cell antenna project 40 E. Granite Street Butte Montana

Chris,

I do not have any further concerns re the proposed placement changes as long as the antenna remain behind the screens.

Thanks

From: Watts, Chris I. [<mailto:Chris.Watts@terracon.com>]
Sent: Tuesday, July 19, 2016 4:30 PM
To: McCormick, Mary <mmccormick@bsb.mt.gov>
Cc: Amy Doner-Baird <amydonerbaird@yahoo.com>; Sara Danielson <Sara.Danielson@mastec.com>;
Karla Guerrero <Karla.Guerrero@mastec.com>; Tillman, Margaret M
<Margaret.Tillman@terracon.com>
Subject: Photo sims - AT&T cell antenna project 40 E. Granite Street Butte Montana

Good afternoon Ms. McCormick-

On behalf of AT&T and MasTec, I am forwarding the new photo simulations for the proposed update to rooftop antennas/equipment at 40 East Granite Street. We like to request that you present the photo sims at the next Butte-Silver Bow Historic Preservation meeting for consideration. Please let me know if you have any questions or need any additional information.

Thank you,

Chris Watts
Field Project Manager - Technical
Environmental Department
Terracon Consultants, Inc.
10625 W I-70 Frontage Rd. North, Suite 3
Wheat Ridge, CO 80033
P [303-454-5266](tel:303-454-5266) / F [303-423-3353](tel:303-423-3353)
Chris.Watts@terracon.com
www.terracon.com

Terracon provides environmental, facilities, geotechnical, and materials consulting engineering services delivered with responsiveness, resourcefulness, and reliability.

Private and confidential as detailed here (www.terracon.com/disclaimer). If you cannot access hyperlink, please e-mail sender.

Messages and attachments sent to or from this email account pertaining to the City-County of Butte-Silver Bow business may be considered public or private records depending on the message content (Article II Section 9, Montana Constitution; 2-6 MCA).

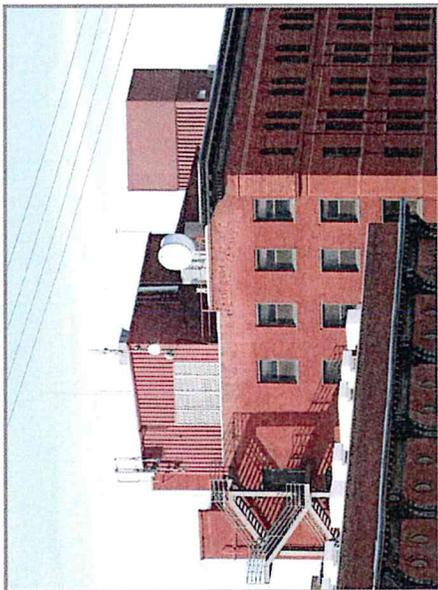
MTL02618 - LTE 2C/3C/4C

BUTTE MAIN

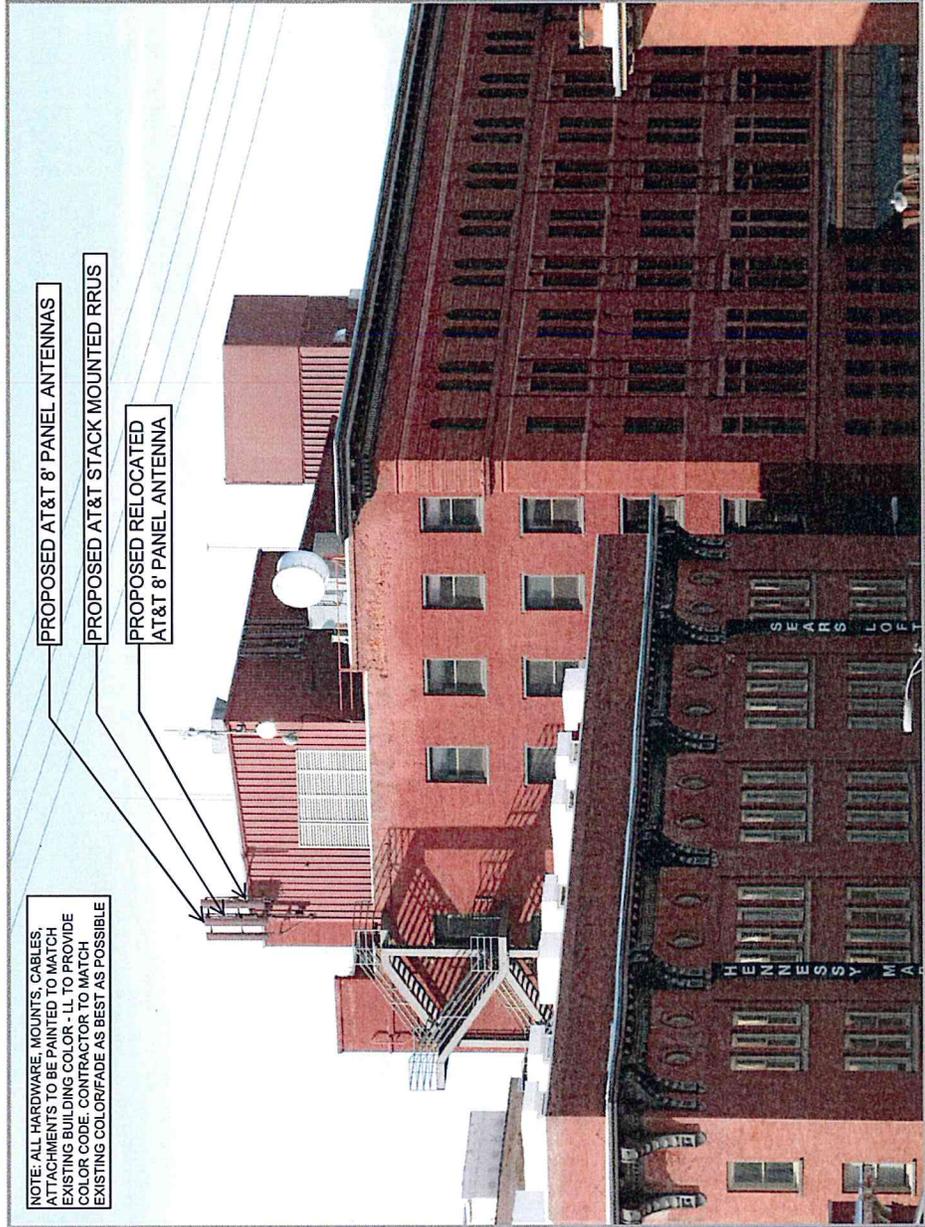
40 EAST GRANITE ST BUTTE, MT 59701



LOCATION

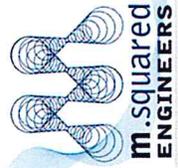


EXISTING



PROPOSED

LOOKING SOUTHWEST FROM E GRANITE ST



MTL02618 - LTE 2C/3C/4C

BUTTE MAIN

40 EAST GRANITE ST BUTTE, MT 59701

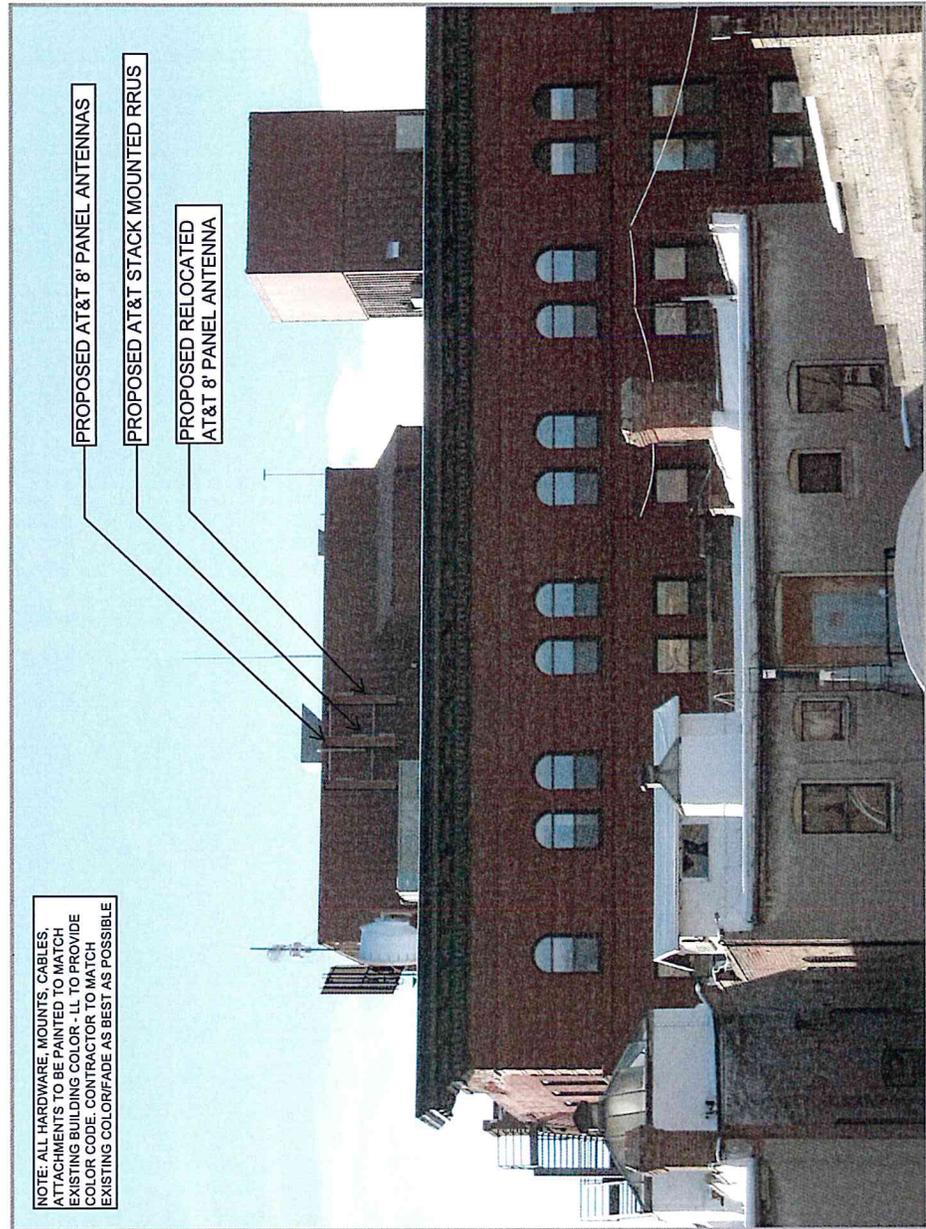


2016



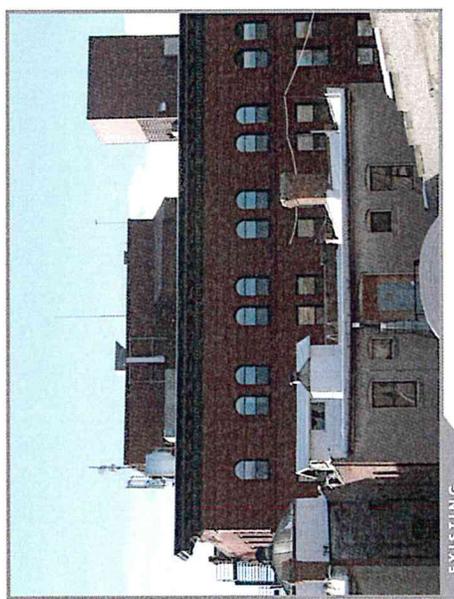
LOCATION

©2016 Google Maps



PROPOSED

LOOKING SOUTH FROM E GRANITE ST



EXISTING



June 30, 2016

Peter Brown, Historic Architecture Specialist
Historian, Section 106 Review & Compliance Coordinator
Montana State Historic Preservation Office
1301 East Lockey Avenue
Helena, MT 59620

Re: *Design-build interior project in Mansfield FOB-CT, Butte, MT*
SHPO Reference Number (GSA-Butte-20140808811)

Mr. Brown,

The U.S. General Services Administration (GSA) is continuing to move through the design and planning process for the design-build interior renovation and tenant build out of the basement, 1st and 3rd floors in the historic Mike Mansfield Federal Office Building and U.S. Courthouse (FOB-CT) located at 400 North Main Street in Butte, Montana. The building is listed on the National Register of Historic Places and is a contributing building to the Butte-Anaconda National Historic Landmark District (NRID# 66000438 / 79001426). GSA originally consulted with your office regarding this project in a 106 initiation letter dated August 7, 2014. See SHPO Reference Number above for project identification. Communication between GSA, your office, the other consulting parties continued until July of 2015 when the project was halted due to tenant agency requirements and design concerns.

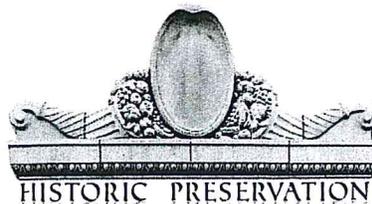
BACKGROUND:

To recap the project intent, as outlined in our August 7, 2014 106 initiation letter, GSA received funding from the Military Entrance Processing Station (MEPS), to relocate MEPS to federal space out of their leased facility on West Park Street.

In meetings with MEPS, GSA defined select areas in the basement and the entire north side of the 1st floor as the most advantageous areas to meet MEPS mission needs. In order to relocate MEPS to the 1st floor of the Mansfield FOB-CT, an existing tenant would need to be relocated to the 3rd floor. In total, this project will deliver the necessary alterations and improvements to those defined areas of the basement, totaling approximately 5,935 square feet; 9,560 square feet on the 1st floor, and approximately 10,300 square feet on the 3rd floor to accommodate the new and existing tenant's requirements.

In the early stages of this project (Spring 2014) GSA outlined the requirements of the selected design-build contractor and defined, as a core team member, an architect with experience in Historic Preservation and projects in historic buildings. Over the following year, GSA worked closely with the preservation architect, the contractor and the tenant agencies to define and understand the mission critical needs that each agency requires in order to facilitate this multi-phased move and make it feasible for all parties involved. While the team worked through the design submittal process, we became aware of several design issues, agency concerns and requirements that had the potential to result in a determination of an adverse effect. The issues, as GSA outlined in our letter dated December 18, 2014 described the construction of multiple Controlled Entrances in the 3rd floor corridor, modifying the north and south corridor ends with new secure doors and the installation of security screening on the interior (corridor) side of the 3rd floor windows overlooking the lightwell below. In the fall of 2015, due to the above mentioned design issues and several new and initially undefined agency requirements, GSA halted the project.

In December 2015, after further definition and a more in depth understanding of those specific agency requirements, we re-opened the project and began a re-design proposal, specifically at the 3rd floor. With the new requirements now further defined, GSA focused on the aspects of this project that will allow us to fill our historic federal building, concentrating on ways to avoid and minimize impacts to the property to the greatest extent possible.





U.S. General Services Administration

As this newly designed submittal illustrates, GSA worked hard with the tenants and has refined our design proposal significantly to develop a solution that meets not only our tenant's requirements, and GSA's goal to substantially fill the building, but to also avoid adverse effects to the historic resource. The enclosed new design illustrates substantial progress in this area, namely the removal of the Controlled Entrances that once modified and altered the visual viewpoint of the third floor corridors.

PROJECT RE-DESIGN:

To summarize the project and to highlight the changes illustrated in the enclosed re-designed 65% design submittal, the following descriptions are listed below:

The basement and 1st floor design remain unchanged per our last communication with your office dated July 2, 2015. The majority of the basement is a Zone 3 Renovation Zone, as the spaces have been extensively modified in previous remodeling projects. While the 1st floor is a combination of Zone 1 Restoration and Zone 3 Renovation Zones, the first floor has also been extensively remodeled since the original construction housed the Post Office lobby and workroom areas.

The 3rd floor plan was redeveloped and has offered us the opportunity to make significant positive changes since our last design submission and retain the majority of the historic fabric. Note the following and reference sheet A2.3A for the 3rd floor plan:

- The three Controlled Entrances have been removed from the corridors and placed in the interior areas of the tenant offices.
- Tenant file storage has been removed from the project and will no longer be housed in the earlier defined 3rd floor areas.
- Existing and original wood doors and door trim will remain intact, thus retaining the visual look of the corridor. Some doors will be made not operable, but all original hardware will remain intact.
- The 3rd floor corridor plaster ceiling will be restored as part of the project. This includes the removal of the structural ceiling grid, existing drop ceiling tiles and lighting.
- Historically sympathetic light fixtures will be installed in the 3rd floor corridors.

Reference the enclosed drawing floor plans (A2.3A) and longitudinal sections of the corridor (A6.3A, 6.3C, 6.3) for further details of these changes.

Additional changes include the removal of some original interior wall partitions to open up tenant office space to provide connectivity between work groups. Two original (Zone 1 Restoration) restrooms located off the north edge of the floor plan (see column line F Sheet A2.3A) will be removed and remodeled into a storage closet for tenant use. All of the associated features of the restroom: original marble wainscot, wood restroom door partitions, original entrance doors and trim will be carefully removed and stored for future re-use. Blast film will be installed on the 3rd floor exterior perimeter windows. The film is clear and will have no or reflectivity. Per the new tenant security requirements, a secure wall and ceiling will need to be constructed at office ceilings and the interior office walls that flank the corridors. The A7 wall construction is defined and detailed on sheet A2.3A of the 3rd floor plan.

We have made no determination of effect at this time as GSA and the design team is still in the early stages of this project re-design. GSA views these new changes to the 3rd floor as positive step in the re-design process, as is our intent that this project cause no adverse effect to this building. The above described changes are reversible and allow the 3rd floor to be utilized to its full capacity and meet the tenant's security concerns. We are inviting you to consult on this 65% design submittal and will forward the subsequent submittals to your office as we receive them. Photographs of the above mentioned areas, including the basement, 1st and 3rd floors and the 65% set of construction documents are enclosed for your review and comment. Please have comments, questions, and concerns back to me by July 18, 2016. Please contact me at 303.236.4627 or at christy.fockler@gsa.gov if you have any questions. We look forward to your comments and advice throughout the design process.





U.S. General Services Administration

Sincerely,

A handwritten signature in black ink that reads "Christy Fockler".

CHRISTY FOCKLER

Historic Preservation Specialist
Rocky Mountain Region 8
U.S. General Services Administration
Design & Construction Service Center (8PC)
One DFC Building 41 PO Box 25546
Denver, CO 80225
303.236.4627 (o) 303.815.7798 (c)
christy.fockler@gsa.gov

Enclosures

cc: Mary McCormick, Butte-Silver Bow Historic Preservation Officer
Tom Keohan, Heritage Partnerships Program, National Park Service
Kirsten Brinker Kulis, GSA Liaison, Advisory Council on Historic Preservation





File storage area in basement.



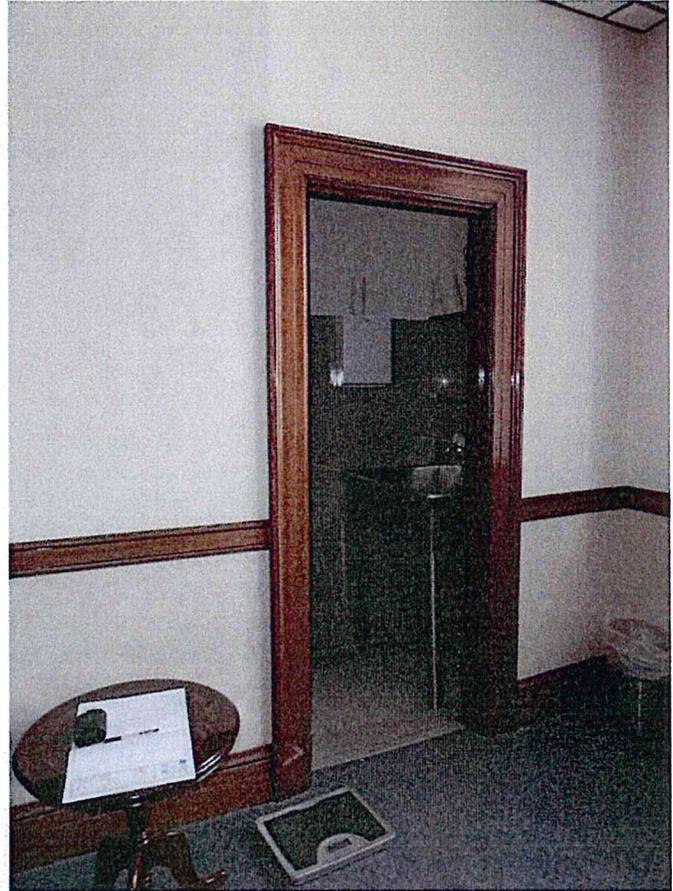
Security entrance at 1st floor. MEPS office entrance will be located approximately at this door location.



3rd floor corridor looking north.



Typical 3rd floor office space.



Zone 1 Restrooms at north side of 3rd floor to be removed.



Zone 1 Restrooms at north side of 3rd floor to be removed.





Andrews & Anderson
Architects, P.C.
ARCHITECTURE
INTERIOR DESIGN
PLANNING
2100 N. UNIVERSITY AVENUE
SUITE 100
BOZEMAN, MONTANA 59717
PHONE: (406) 552-1100
FAX: (406) 552-1101

PROJECT NO. 2009190
DATE: 10/20/11

Mike Mansfield Federal Building
and U.S. Courthouse
Preservation Plan
Butte, Montana

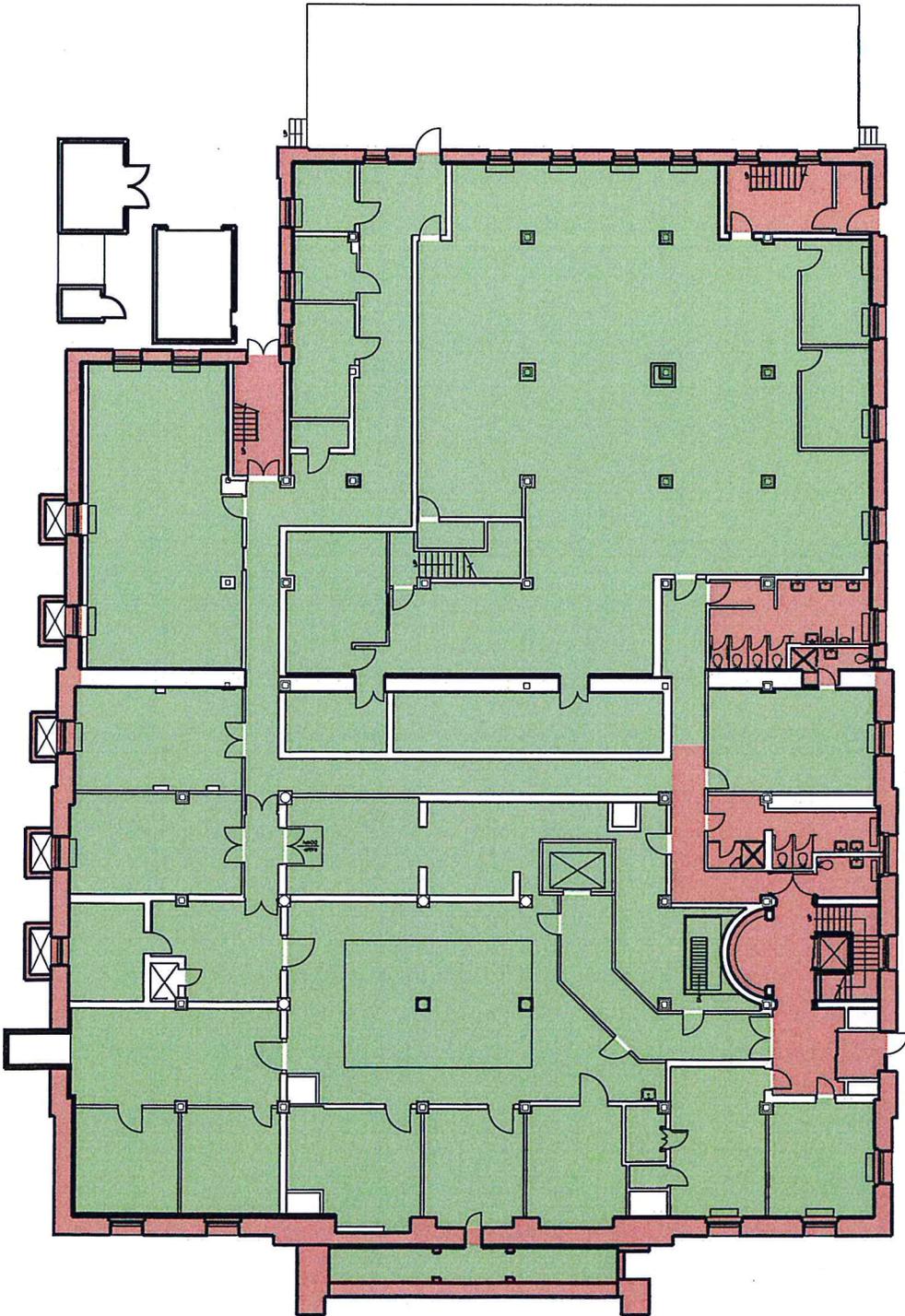
REVISION	DATE	2011
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1		
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PROJECT NO. 2009190

PROJECT NAME
Basement
Zoning Plan
SHEET NO. A1.0

LEGEND

- Zone 1 Restoration
- Exterior Facade
- Zone 1 Restoration
- Light Court Facade
- Zone 1 Restoration
- Courtroom
- Zone 1 Restoration
- Original Lobby
- Zone 1 Restoration
- Public Circulation & Restrooms
- Zone 2 Rehabilitation
- Roof
- Zone 2 Rehabilitation
- Site
- Zone 2 Rehabilitation
- Tenant Space
- Zone 3 Renovation
- Attic & Basement Mechanical
- Space
- Zone 3 Renovation
- Public Circulation
- Zone 3 Renovation
- Tenant Space



REFERENCE ANALYSIS AND
TREATMENT SECTION FOR
FURTHER GUIDANCE.

RESTORATION ZONE (Zone 1): These areas exhibit unique or distinctive qualities, such as original materials or elements, representative examples of skilled craftsmanship, or the work of a notable architect or builder. They may also be of significance due to associations with persons or events of preeminent importance.

REHABILITATION ZONE (Zone 2): These may be spaces or areas exhibiting distinguishing qualities, original materials and/or elements, but less ornate than restoration zones in overall treatment.

RENOVATION ZONE (Zone 3): These are areas whose renovation and modification would not represent a loss of historic character, or intrusion to an otherwise historically significant structure.

1 BASEMENT ZONING PLAN
SCALE: 1/8" = 1'-0"





Andrews & Anderson
Architects, PC
ARCHITECTS
HISTORIC PRESERVATION
PLANNING
INTERIORS
LANDSCAPE ARCHITECTURE
PASTORAL

GOVERNMENT WORK
1000 N. 10TH ST. SUITE 200
BOZEMAN, MONTANA 59717
PHONE: (406) 552-1100
FAX: (406) 552-1101

Mike Mansfield Federal Building
and U.S. Courthouse
GSA Building Preservation Plan
Butte, Montana

ISSUED	2011
DATE	
BY	
FOR	
DATE	

PROJECT NO. 2009190
DATE

SHEET NO. 01
FIRST FLOOR Zoning Plan
SCALE: 1/8" = 1'-0"
A1.1

LEGEND

- Zone 1 Restoration Exterior Facade
- Zone 1 Restoration Light Court Facade
- Zone 1 Restoration Courthouse
- Zone 1 Restoration Original Lobby
- Zone 1 Restoration Public Circulation & Restrooms
- Zone 2 Rehabilitation Roof
- Zone 2 Rehabilitation Site
- Zone 2 Rehabilitation Tenant Space
- Zone 3 Renovation Attic & Basement Mechanical Space
- Zone 3 Renovation Public Circulation
- Zone 3 Renovation Tenant Space



REFERENCE ANALYSIS AND TREATMENT SECTION FOR FURTHER GUIDANCE.

RESTORATION ZONE (Zone 1): These areas exhibit unique or distinctive qualities, such as original materials or elements, representative examples of skilled craftsmanship, or the work of a notable architect or builder. They may also be of significance due to associations with persons or events of preeminent importance.

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1 FIRST FLOOR ZONING PLAN
SCALE: 1/8" = 1'-0"





June 28, 2016

Peter Brown, Historic Architecture Specialist
Historian, Section 106 Review & Compliance Coordinator
1301 East Lockey Avenue
Helena, MT 59620

Re: *Design Build Project - Fire Suppression Sprinkler System – Mansfield FOB-CT, Butte, MT*

The U.S. General Services Administration (GSA) has the need to undertake work in the historic Mike Mansfield Federal Office Building and U.S. Courthouse (FOB-CT), located at 400 North Main Street, Butte, Montana. The building is listed on the National Register of Historic Places and is a contributing building to the Butte-Anaconda National Historic Landmark District (NRID# 66000438 / 79001426).

GSA's fire and life safety engineering team visited the historic Mansfield FOB-CT in August 2015. The purpose of the visit was to conduct a Management Analysis Review Systems (MARS) review, which is completed on select buildings during a given fiscal year. Presently, the historic Mansfield FOB-CT is not a fully sprinklered building with only select areas in the basement currently sprinklered to meet tenant agency requirements at their file storage area.

The MARS review revealed the need to correct several fire protections system code violations within the building. These include the presence of a dead end corridor on the first floor; the current means of egress and corridor length on the second and third floors, which was cited as greater than the National Fire Protection Association (NFPA) code allows; and the wood framed attic which needs to be sprinklered to be code compliant due to the extensive mechanical systems that exist in the attic space. Included in the two project scopes, the existing anti-freeze loop, dry pipe sprinkler system currently installed in the mechanical / boiler room of the basement is leaking and needs to be repaired and upgraded to comply with the most current NFPA code regulations. Presently, the basement is sprinklered with two separate systems: the anti-freeze (dry pipe) system in the mechanical room and a wet pipe system over the Federal Bureau of Investigation's (FBI) file storage areas. Reference enclosed Zone Plan for these locations. The 1st, 2nd, 3rd and attic levels are currently non-sprinklered and will need to be brought up to code to meet GSA and tenant fire and life safety standards. GSA has been allocated funding for a design-build project in order to accommodate the above mentioned insufficiencies for fire and life safety and to upgrade the existing systems in the basement. The two scopes (enclosed) outline the removal and reinstallation of a dry pipe system in the mechanical / boiler room, the removal and reinstallation of the wet pipe system currently located in the basement file storage area and the complete design and installation of a new wet pipe system throughout the building, including the 1st, 2nd, 3rd and attic floors.

GSA has researched design and installation options for the new wet sprinkler system in consultation with a Montana Fire Protection Engineering firm, who has begun the design process. We have outlined in the two scopes that we will receive design submittals (65%, 95% and final 100%) for review. It is our intent, through the design process that this project will be designed in agreement with the Secretary of the Interior's Standards for Rehabilitation and the recommended NFPA code requirements. All efforts will be taken to design and install the systems with limited impacts to the historic fabric of the building.

Areas such as the original Courtroom and the 3rd floor corridor (restored through another project), will have no exposed sprinkler heads. The Courtroom will have concealed extended coverage heads installed on the north and south side walls and select ceiling locations of the Courtroom. The concealed heads will be installed through the attic floor to the Courtroom and 3rd floor corridor ceiling so to not incur any additional damage to the original plaster. Custom colored escutcheon plates, matching the existing ceiling paint color will be installed over the concealed heads to minimize the appearance of the sprinkler locations.





U.S. General Services Administration

Additionally, areas that have high character defining features will be excluded from any sprinkler installation. These areas include the corridor directly to the east of the Courtroom, the original marble and terrazzo staircases, surrounding the elevator shaft, that run from the basement to the 3rd floor, all original safes that remain in the building, and the detention jail on the 2nd floor.

We have made no determination of effect at this time as GSA and the design team is still in the early stages of this project design. GSA sees the installation of the entire fire and life safety sprinkler system as a benefit to the long term life of the building and the existing and new tenants. We are inviting you to consult on the design submittals and will forward them to your office as we receive them. The two scopes of work, photographs of the existing areas and the 65% design submission are enclosed for your review and comment. Please have comments, questions, and concerns back to me by **Monday, July 18, 2016**. Please contact me at 303.236.4627 or at christy.fockler@gsa.gov if you have any questions. We look forward to your comments and advice throughout the design process.

Sincerely,

A handwritten signature in black ink that reads "Christy Fockler".

CHRISTY FOCKLER

Historic Preservation Specialist
Rocky Mountain Region 8
U.S. General Services Administration
Design & Construction Service Center (8PC)
One DFC Building 41 PO Box 25546
Denver, CO 80225
303.236.4627 (o) 303.815.7798 (c)
christy.fockler@gsa.gov

cc: Mary McCormick, Butte-Silver Bow Historic Preservation Officer
Tom Keohan, Heritage Partnerships Program, National Park Service



**Statement of Work
For
Design-Build (DB) Contract
Wet Pipe Sprinkler System Design and Installation
Attachment 0001**

PROJECT IDENTIFICATION

Project Name: Mike Mansfield Federal Office Building and U.S. Courthouse (FOB-CT), Butte MT, Design-Build (DB) Construction Project, **Wet Pipe Sprinkler System Design and Installation**

Project Number:

Region: General Services Administration Region 8, Rocky Mountain Region

Building Name: Mike Mansfield Federal Office Building and U.S. Courthouse

Building Address: 400 North Main Street, Butte Montana

Project Manager: TBD

Contracting Officer Representative (COR): Steve Janzen, GSA
(406) 437-8192
steven.janzen@gsa.gov

Mansfield Federal Office Building and U.S. Courthouse Wet Sprinkler System: Basement, 1st, 2nd, 3rd Floors & Attic Design and Installation

Scope of Work

WET-PIPE SPRINKLER SYSTEM / Basement, 1st, 2nd, 3rd, Attic

GENERAL

1.1 DESCRIPTION OF WORK:

- A. Scope: This work includes designing and providing a new sprinkler system to the entire building: basement, first, second, third and attic floors of the building using the existing wet-pipe automatic sprinkler system and complying with the specifications as described herein and on the contract drawings for the Mansfield Federal Office Building and U.S. Courthouse (FOB-CH).

This project shall be constructed in two (2) phases. Phase one shall include a full wet suppression system on the third floor and attic of the building. Phase two shall include a full wet suppression system for the basement, first and second floors of the building. Both phases shall incorporate the attached specifications and schedule for design. Construction will commence upon the concurrence of design through GSA and the State Historic Preservation Office (SHPO) of Montana. Note: The installation of the suppression system on the first floor shall be explicitly scheduled with the client agency prior to installation. The third floor and basement design shall be Ordinary Group 2 design. The remaining building design shall be light hazard design. One area of the basement currently has a dry pipe suppression system. See additional project scope of work for requirements and description of work. **The basement shall be designed and installed as a wet pipe suppression system, excluding the areas that have been identified in the Dry Pipe Sprinkler Statement of Work and Specifications. Existing wet pipe sprinkler may be reused.**

The use of extended coverage sprinkler heads will be allowed as a part of this design and installation in the court room ceiling located on the second floor.

The Mike Mansfield FOB-CH, located in Butte, Montana is listed on the National Register of Historic Places and is a contributing building to the Butte-Anaconda National Historic Landmark District. Reference the requirements for historic buildings below. These credentials shall be provided as a submission to the GSA Contracting Officer.

The wet pipe system shall include all piping, sprinklers, fittings, hangers, valves, flow switches, tamper switches, check valves, riser trim package(s), back-flow preventers, drains, inspector's test connections, fire department connections, and all other accessories and miscellaneous items required for a complete operating system even though each item is not specifically mentioned or described. The new sprinkler system shall be tested and ready for full operation prior to acceptance by the Government.

Exclusions for design and fire sprinklers include the following locations:

- a) Corridor 02051 – West corridor 2nd Floor outside of the courtroom.
- b) Original marble and terrazzo staircase – Basement to 3rd Floor surrounding the elevator shaft.
- c) All safes throughout the interior of the building shall not be sprinklered.
- d) Detention Jail located on the 2nd Floor Room Number 02026
- e) Mechanical Room located in the Exterior Light Well (2nd Floor)

HISTORIC REQUIREMENTS:

The Mike Mansfield Federal Office Building and U.S. Courthouse in Butte, Montana is a Historic Building and is listed on the National Register of Historic Places. In addition, the Mansfield FOB-CT is a contributing building to the Butte-Anaconda National Historic Landmark District. As such, all projects in the building are required to follow the guidelines set forth in the following publications:

- ADM 1020.2 GSA Procedures for Historic Properties
- The National Historic Preservation Act of 1966, as amended and Executive Order 11593.
- The Secretary of the Interior's Standards and Illustrated Guidelines for Rehabilitating Historic Buildings, Revised 1992 (36 CFR 67).
- GSA Technical Preservation Guidelines: <http://www.gsa.gov/portal/content/101402>
- GSA Historic Preservation Technical Procedures: <http://www.gsa.gov/portal/hp/hpc/category/100371/hostUri/portal>
- National Park Service Preservation Briefs: <http://www.nps.gov/tps/how-to-preserve/briefs.htm>

Any work that could alter the building's historic fabric, character, or appearance, both on the interior and exterior must first be approved by the GSA's Historic Preservation Officer/Historic Preservation Specialist and the Montana State Historic Preservation Office (SHPO) before any actions are to take place.

No construction work can begin until Section 106 of the National Historic Preservation Act (NHPA) is complete.

**Statement of Work
For
Design-Build (DB) Contract
Dry Pipe Sprinkler System Replacement
Attachment 0002**

PROJECT IDENTIFICATION

Project Name: Mike Mansfield Federal Office Building and U.S. Courthouse (FOB-CT), Butte, MT, Design-Build (DB) Construction Project, **Dry Pipe Sprinkler System Replacement**

Project Number:

Region: General Services Administration Region 8, Rocky Mountain Region

Building Name: Mike Mansfield Federal Office Building and U.S. Courthouse

Building Address 400 North Main Street, Butte Montana

Project Manager: TBD

Contracting Officer Representative (COR): Steve Janzen, GSA
(406) 437-8192
steven.janzen@gsa.gov

Mike Mansfield Federal Office Building and U.S. Courthouse Dry Pipe Replace and Installation: Basement

Scope of Work

DRY PIPE SPRINKLER SYSTEM / Basement

GENERAL

1.1 DESCRIPTION OF WORK:

- A. Scope: This work includes designing and providing a new complete, dry pipe automatic sprinkler system as ordinary Group 2 for the basement, and associated equipment as described herein and on the contract drawings for the Mike Mansfield Federal Office Building and United States Courthouse (FOB-CT), located in Butte, Montana.

The Mike Mansfield FOB-CH, located in Butte, Montana is listed on the National Register of Historic Places and is a contributing building to the Butte-Anaconda National Historic Landmark District. Reference the requirements for historic buildings below. These credentials shall be provided as a submission to the GSA Contracting Officer.

The dry pipe system shall include all piping, sprinklers, fittings, hangers, valves, flow switches, tamper switches, check valves, riser trim package(s), air compressor, back-flow preventers, drains, inspector's test connections, fire department connections, and all other accessories and miscellaneous items required for a complete operating system even though each item is not specifically mentioned or described. The new sprinkler system shall be tested and ready for full operation prior to acceptance by the Government. **There are currently three existing anti-freeze loop systems in the basement. The anti-freeze system providing coverage to the motor control system shall be a dry pipe system. The remaining two (2) anti-freeze loops shall be a part of the wet suppression system.**

HISTORIC REQUIREMENTS:

The Mike Mansfield Federal Office Building and U.S. Courthouse in Butte, Montana is a Historic Building and is listed on the National Register of Historic Places. In addition, the Mansfield FOB-CT is a contributing building to the Butte-Anaconda National Historic Landmark District. As such, all projects in the building are required to follow the guidelines set forth in the following publications:

- ADM 1020.2 GSA Procedures for Historic Properties
- The National Historic Preservation Act of 1966, as amended and Executive Order 11593.

DRY PIPE SPRINKLER SYSTEM

2

- The Secretary of the Interior's Standards and Illustrated Guidelines for Rehabilitating Historic Buildings, Revised 1992 (36 CFR 67).
- GSA Technical Preservation Guidelines: <http://www.gsa.gov/portal/content/101402>
- GSA Historic Preservation Technical Procedures:
<http://www.gsa.gov/portal/hp/hpc/category/100371/hostUri/portal>
- National Park Service Preservation Briefs:
<http://www.nps.gov/tps/how-to-preserve/briefs.htm>

Any work that could alter the building's historic fabric, character, or appearance, both on the interior and exterior must first be approved by the GSA's Historic Preservation Officer/Historic Preservation Specialist and the Montana State Historic Preservation Office (SHPO) before any actions are to take place.

No construction work can begin until Section 106 of the National Historic Preservation Act (NHPA) is complete.

Guidelines

- A. **Extent of the Work:** The system shall be installed in accordance with the drawings, specifications and referenced publications. Any conflicts between these documents shall be brought to the attention of the design professional responsible for the job, the project manager, and the GSA regional fire protection engineer.
- B. **Equipment Removal:** After acceptance of the new system by the Government, all existing equipment so indicated shall be removed and all damaged surfaces shall be restored as herein specified.
- C. **Compliance:** The entire dry pipe automatic sprinkler system shall be designed in accordance with Section 1.4, **GSA P-100**. Any reference to "authority having jurisdiction" shall be interpreted to mean the GSA Regional Fire Protection & Safety Team. All material and equipment used shall be listed or approved by UL, FM or another nationally recognized testing agency approved by the Contracting Officer, for their intended use and service.
- D. All sprinklers throughout the building shall be concealed heads with escutcheon plates painted to match the existing hard ceiling in those designated areas that have been determined historically sensitive.
- E. **Related Sections and Divisions:**
 1. Refer to these Division-15 specifications for related guidance:



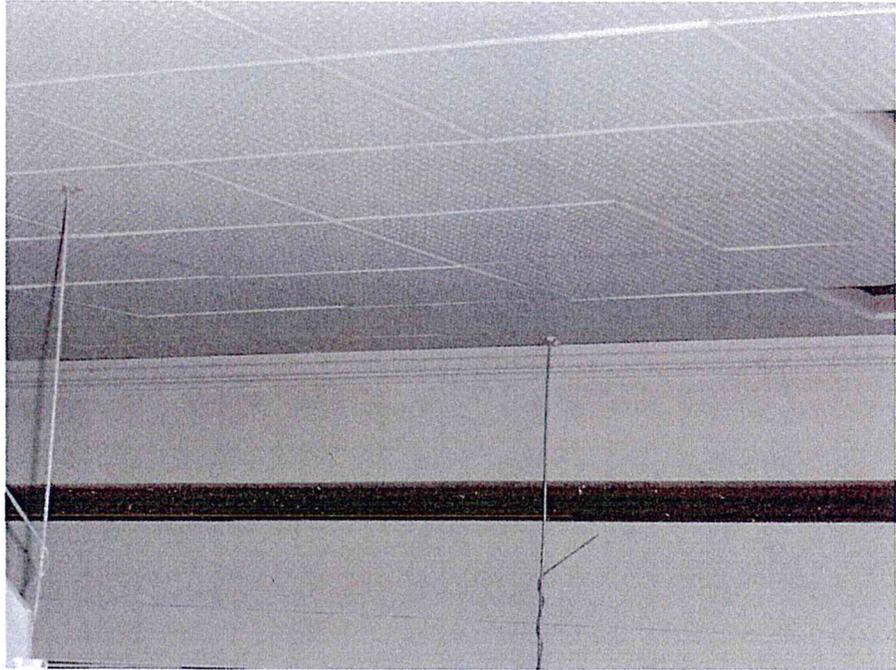
U.S. General Services Administration



Typical view of office ceilings above dropped ceiling.
Photo courtesy of GSA Jan. 2016



View of plaster ceiling, existing drop ceiling structural grid penetrations.
Photo courtesy of GSA Jan. 2016



View of plaster ceiling, existing drop ceiling grid/ lighting with original wood picture rail beyond.

Photo courtesy of GSA Jan. 2016



View above drop ceiling at first floor.

Photo courtesy of GSA Jan. 2016

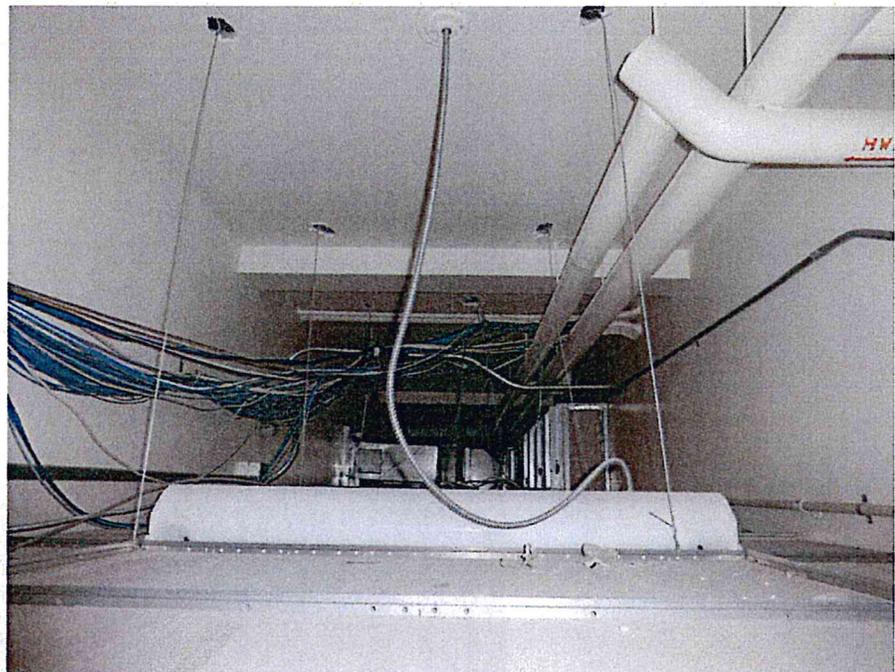


U.S. General Services Administration



View of multiple drop ceiling installations and plaster ceiling above.

Photo courtesy of GSA Jan. 2016



Typical corridor view above drop ceiling grid and lighting.

Photo courtesy of GSA Jan. 2016



Typical corridor with drop ceiling. Sprinkler heads will be installed above.

Photo courtesy of GSA Jan. 2016



Courtroom ceiling and north end wall.

Photo courtesy of GSA Jan. 2016



U.S. General Services Administration

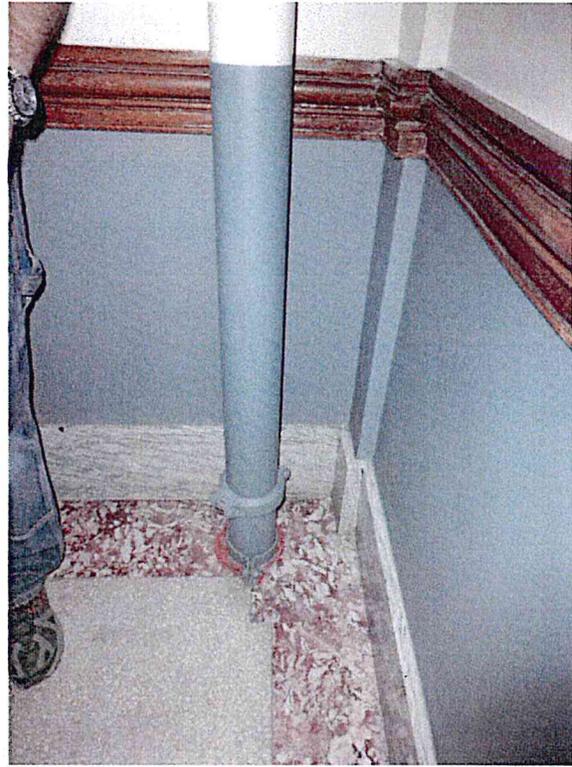


Attic space.
Photo courtesy of GSA Jan. 2016





U.S. General Services Administration



Existing standpipes to be re-used.
Photo courtesy of GSA May 2016





July 12, 2016

Mark Baumler, Ph.D.
State Historic Preservation Office
2302 East Lockey Avenue
P O Box 201202
Helena, MT 59620-1202

Subject: STPU 1820(2)
Holmes & Hill/Warren Ave. – Butte
UPN 7970

Dear Mark:

Enclosed are the cultural resource report, historic property forms, disk, and CRABS for the above MDT project in Butte. The MDT identified two historic properties within the Area of Potential Effect for this project: The Carmen and Albenia Campanella Residence (24SB1051) and the Shamrock Motel (24SB1052). I have determined that both properties are ineligible for the National Register of Historic Places. I request your concurrence.

If you have any questions, please contact me at 444-6258.

Jon Axline, Historian
Environmental Services

Enclosures

Copies: Jeff Ebert, P.E., Butte District Administrator
Lesly Tribelhorn, P.E., Highways Engineer
Bill Semmens, Resources Section
Mary McCormick, Butte-Silver Bow County Historic Preservation Officer
w/attachments

STPU 1820(2)
Holmes & Hill/Warren Ave. - Butte
UPN 7970

Introduction

The Montana Department of Transportation (MDT) intends to install a traffic signal and reconstruct the intersection of Holmes Avenue and Hill and Warren avenues in Butte. The project would include the realignment of the intersection to correct a 20' offset on Warren Avenue. The project begins at Reference Post 0.258 on Holmes Avenue and proceeds westerly 0.5 miles to Reference Post 0.758. The project is located in the NW¼ NE¼ of Section 31, T3N, R7W. Additional Right-of-Way (ROW) will be needed for this project. Figure 1 shows the survey area and the location of the historic buildings on an aerial photograph of the project area.

The cultural resource survey was conducted in accordance with the federal and state regulations regarding the recordation and protection of prehistoric and historic cultural heritage sites. The survey included only the area surrounding the intersection of Holmes Avenue and Hill and Warren avenues that could potentially be impacted by the MDT project.

The cultural resource survey was conducted by MDT historian Jon Axline on July 7, 2016. Two historic properties were inventoried as part of this project. The historic properties were recorded, mapped and photographed. Research and report preparation was by Axline.

Management Summary

A windshield and pedestrian survey was conducted within the designated Area of Potential Effect (APE) for this project. The project area is centered on a Holmes Avenue between Gaylord Street and Wynne Avenue, concentrating on the intersection of Holmes, Hill, and Warren avenues. The project area consists of a mixture of historic age and modern buildings. The Highland View Golf Course is at the northwest corner of the intersection. The golf course was established in 1939, but no historic age buildings or structures are located within the APE of the project. Because of the urban nature of the project area, the author did not conduct an archaeological survey for this project.

Two historic properties are located within the Area of Potential Effect (APE): the Carmen and Albena Campanella Residence (24SB1051) and the Shamrock Motel (24SB1052). Both properties are ineligible for the National Register of Historic Places for the reasons specified in the report below.

Physical Setting

The project area is located in the Silver Bow Valley of southwestern Montana. The high valley trends east and west with the primary drainage being Silver Bow Creek about a mile north of the MDT project area. The valley is delineated on the south by the Highland Mountains and on the north and east by the rugged Boulder Mountains. The Flint Range is visible to the west. The Butte Hill, uptown Butte, and the Berkley Pit dominate the view shed to the north. Silver

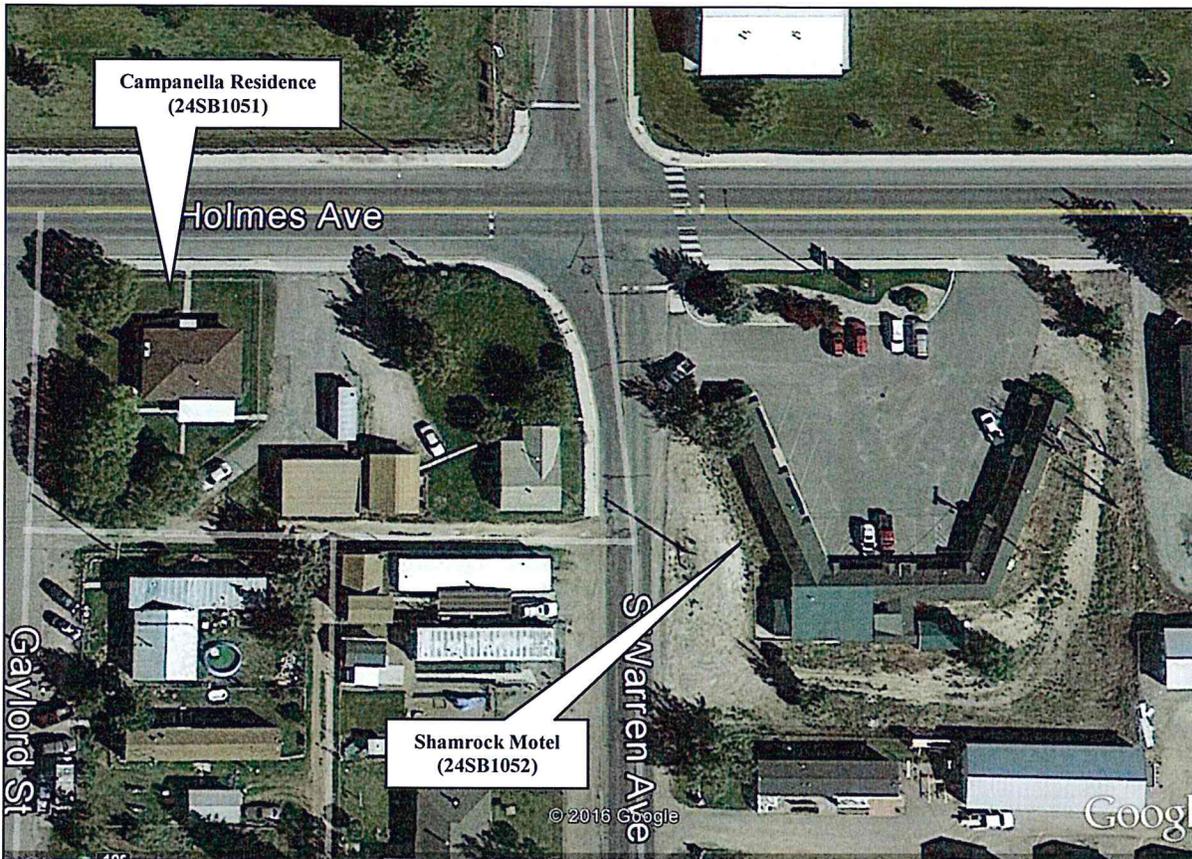


Figure 1. Aerial photo of the Holmes Avenue project area.

Bow Creek flows westerly before joining Warm Springs Creek and forming the Clark Fork River in the Deer Lodge valley. The project area is totally urbanized with a golf course, residences, commercial, and industrial properties in close proximity to it. Holmes Avenue functioned as a component of US Highway 10-South from 1922 until the construction of Interstate 15/90 in 1966. It now functions as an urban arterial route maintained by the MDT.

The historical development of the project area was dominated by mining. Prospectors discovered marginal gold placers along Silver Bow Creek in 1864. The initial stampede soon went bust, but the camp saw new life as a silver camp beginning in the 1870s. In 1881, Marcus Daly's Anaconda Mine began production of copper, causing a boom in copper mining in Butte. Butte's population skyrocketed along with the development of mining properties on the Butte Hill. In 1883, Daly established a large copper smelter in nearby Anaconda, which further kindled the development of the area. Butte was the economic and political powerhouse of Montana, producing approximately 41% of the copper mined in the world by 1910. Mining continued to dominate Montana's economy even after the development of the Berkley Pit beginning in 1955. Thereafter, mining properties overseas and the Anaconda Copper Mining Company's increased focus on those properties caused a decline in mining in Butte beginning in the 1960s. In 1983, the Atlantic Richfield Company (ARCO) closed the mines in Butte. Despite



Figure 2. Overview of project area. Looking east along Holmes Avenue from Gaylord Street.

that, mining continues to occur on the Butte Hill and Butte has adapted to a new economic reality.

Methodology

The MDT historian initiated the survey with a search of the Cultural Resources Information Systems (CRIS) and Cultural Resources Annotated Bibliographic System (CRABS) files at the Montana State Historic Preservation Office (SHPO) in Helena. In the late 1980s, GCM Services conducted a cultural resource survey for the MDT on Holmes Avenue between Rowe Road and Harrison Avenue. GCM recorded and evaluated 11 historic properties along Holmes Avenue within Section 31. All of the historic properties were determined ineligible for the National Register of Historic Places. One property, the Ernest and Corrine Scharf Residence (24SB0389) is located at the southwest corner of Holmes Avenue and Warren Avenue. The SHPO concurred in December 1990 with the MDT's determination that the property is ineligible for the National Register.

Archival holdings at the Montana Department of Transportation, the Montana Historical Society, and the Butte-Silver Bow Archives were examined for information regarding the project area.



Figure 3. Overview of project area. Looking west along Holmes Avenue.

City-County histories, reminiscences, newspaper articles, city-county directories, land tract books, Sanborn maps, the U.S. census and other records were also perused for information regarding the project area. The General Land Office (GLO) records at www.glorerecords.blm.gov were also investigated for this project. Ownership and appraisal records were researched at the Silver Bow County Courthouse and the Butte-Silver Bow County Archives in Butte.

Two historic properties that may be potentially impacted by the MDT's traffic signal/intersection reconstruction project were inventoried for this project. The historic properties were recorded on Montana Historic Property forms and assigned Smithsonian trinomial numbers. The forms are on file at the Montana State Historic Preservation Office in Helena and at the Environmental Services Bureau at the MDT. A copy of the report will also be provided to the Butte-Silver Bow County Historic Preservation Commission.

Historical Overview

Prospectors discovered gold placers on nearby Silver Bow Creek in 1864 and a small mining camp, called Butte, grew up along the banks of the stream shortly after the gold strike. The Silver Bow Creek placers, however, were marginal and by 1870, the camp was nearly deserted.

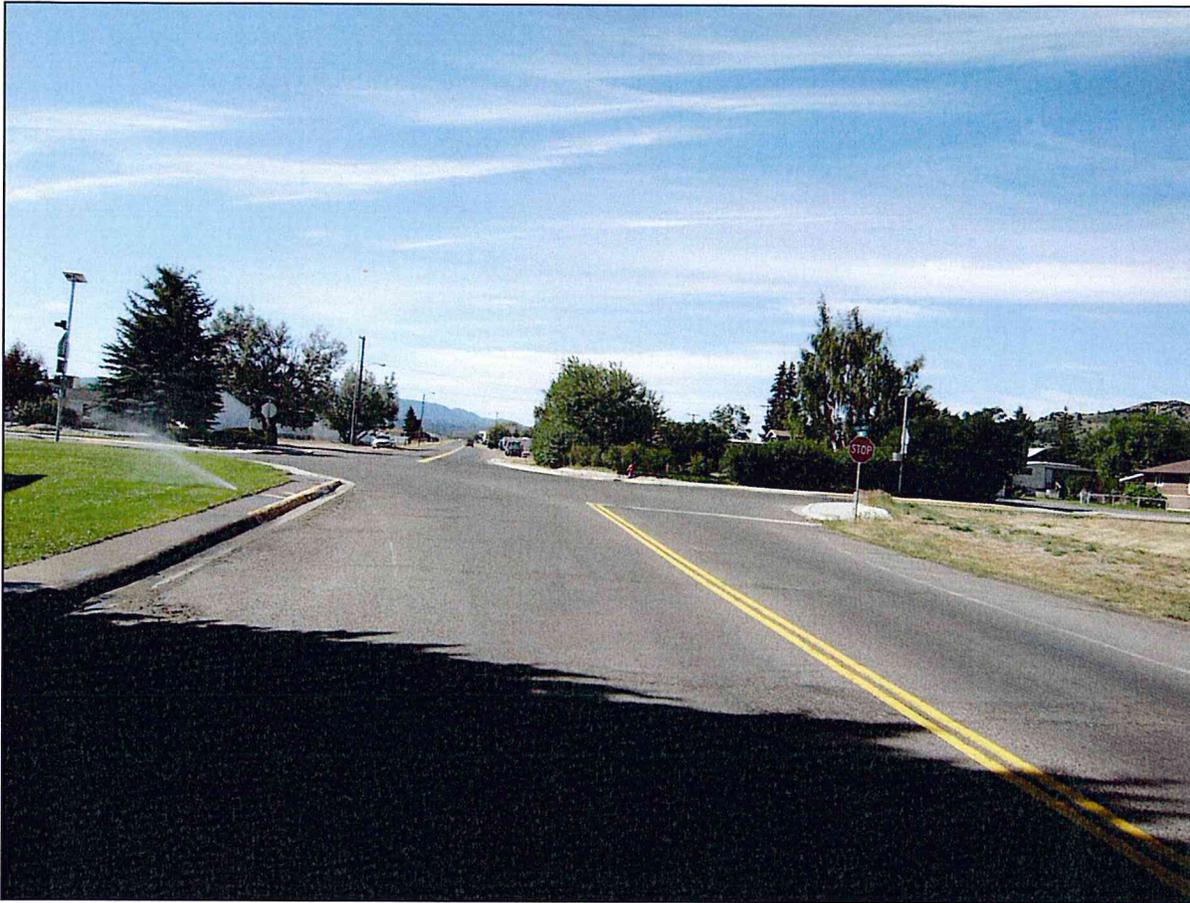


Figure 4. Overview of project area. Looking south along Hill Avenue through intersection to Warren Avenue.

Some miners, however, discovered promising gold and silver quartz outcrops on the hill above the mining camp in the early 1870s. A few years later, William Farlin built a stamp mill on the hill to process the gold and silver ore. The mill sparked new growth in the mining camp and the surrounding district. The abundance of gold and silver attracted the interest of investors, such as Marcus Daly and William A. Clark, who developed mines on the hill in the late 1870s. By the mid-1880s, copper had become the metal of choice on the hill because it was vital to the electrification of the United States during the late nineteenth century's Industrial Revolution. Consequently, Butte's mining economy boomed and the population of the city soared as the mines and processing facilities expanded to meet the national demand for copper (Wolle 1963: 172-73; Spritzer 1999: 211-212; *Montana Place Names* 2009: 34; Malone et al. 1992: 68; Burlingame 1942: 94-95).

Butte has experienced a long and colorful history since the 1880s when it became Montana and the country's preeminent mining camp. After surviving the War of the Copper Kings, the city experienced the Amalgamated Copper Company's takeover of the mines on the Butte Hill in 1903, cycles of labor unrest that began in 1914, the consolidation of the mines under the ownership of the Anaconda Copper Mining Company, and cycles of economic prosperity and depression. Throughout it all, however, Butte and the ACM retained its economic and political

dominance of the state. In the face of declining copper ore grades, the ACM opened the Berkley Pit in 1955. The pit had a profound impact on Butte as entire neighborhoods were swallowed up by the pit's expansion. The appearance of Butte significantly changed as did its economic and political influence as the ACM also shifted its attention to richer mining properties overseas. As the pit began to dominate the city's landscape, businesses and residences moved away from the uptown area to the "flats" south of town. Some of that shift was also based on the construction of Interstate 15/90 along Silver Bow Creek at the base of the hill. Again, businesses and residences moved to the proximity of the new highway to take advantage of the opportunities it provided. The process, which began after World War II, significantly accelerated in the latter years of the twentieth century. Today, the MDT's project area displays of mixture of historic and recent construction.

Holmes Avenue/US Highway 10-South

Holmes Avenue first appears on the 1916 Sanborn Fire Insurance map and in the *Anaconda Standard* newspaper in September 1917.² In 1918, a story appeared in the *Standard* about two women being killed when a Milwaukee Road Railroad train struck their car at an at-grade crossing on Holmes Avenue west of the MDT project area. In 1922, debate began among the county commissioners and the city commission about establishing a paved highway to connect the Five Mile Road with the Butte-Anaconda Road (Yellowstone Trail). After much discussion, the commissions' designated Holmes Avenue from Harrison Avenue westward to what is now known as Rowe Road and then northerly on Montana Avenue where the route would connect with the Butte-Anaconda Road on West Iron Avenue (the current route of Interstate 115).³ In the spring of 1923, the US Secretary of Agriculture designated the route eligible for Federal Aid funding, effectively placing it on the state's Federal Aid highway system. Consequently, the county commissioners and the Montana State Highway Commission awarded contracts to Butte contractors W. A. O'Brien and D. J. Reardon to construct the road in July 1923. When completed in October 1923, the *Anaconda Standard* crowed that "the road will be a monument to the enterprise and energy of a small group of Butte citizens who carried on what appeared to be a hopeless fight for many years to provide Butte with a highway to the south of the city." The highway commission contracted with Butte builders Hunt & Shannon to further improve the route in 1931. By 1930, though, the American Association of Highway Officials and the highway commission designated the route a component of US Highway 10-South. It would retain that label until 1963 when the completion of Interstate 15/90 rendered it superfluous. The road is now known as Urban Route 1820 and is still eligible for federal funds for improvements; it is maintained by the Montana Department of Transportation (Report of Montana State Highway Commission 1928: 28; Montana State Highway Commission Meeting Minutes, book 5: 42, 43; *The Anaconda Standard*, 1922-1927).

Even before the highway and county commissioners incorporated Holmes Avenue into the Federal Aid system, there were businesses and residents living along the street. Until 1971, Holmes Avenue was the border between the city and the county. The Highland View Golf Course functioned as a city park until 1939. Businesses located along the route included the

² The newspaper states that a recently deceased woman's widower lived at the corner of Holmes and Gaylord Street. "Pioneer Woman Dead," *The Anaconda Standard*, 20 September 1917.

³ Interstate 115 is 1.2 miles in length and connects Montana Avenue in Butte along West Iron Street to Interstate 15/90.

Timber Butte Dairy,⁴ a dairy and poultry farm at 1829 Holmes Avenue, the Hansen Packing Company complex adjacent to the Milwaukee Road Railroad tracks, and several residences. Improvements to Holmes Avenue in the late 1920s, the presence of a school, and, after World War II, the expansion of the ACM's operations in Butte caused an influx of development along Holmes Avenue.⁵ The Skook-um Motel (built 1930) at the east end of Holmes Avenue and the Shamrock Motel (24SB1052) are two of the businesses that catered to motorists on US 10 (*The Anaconda Standard* 1917-1927; *Montana Standard* 1928-1965).

⁴ In April 1920, the City cited the owners of the dairy with selling sub-standard milk in the Mining City. "Milk is Below Standard," *The Anaconda Standard*, 29 April 1920.

⁵ For a short time between 1933 and 1935, Dr. Jacob Thorkelson's nudist camp (24SB0391) was also located on Holmes Avenue a few blocks east of the MDT project area.

THE SITES

1. THE CARMEN AND ALBINA CAMPANELLA RESIDENCE (24SB1051)

Address: 1410 Holmes Avenue

Description: The site consists of a residence (F-1) and detached garage (F-2). The residence was constructed in 1955 and the garage in 1970. They are located at the southwest corner of Holmes Avenue and Gaylord Street and face north onto Holmes.

Feature 1 is a 1-story vernacular Ranch style residence. The 28' x 40' dwelling that sits on a concrete foundation with a daylight basement. The hip roof is sheathed in asphalt shingles and the walls are clad in masonite and wood sheet siding. The siding is masonite on the upper zone and plywood on the lower zone. The zones are delineated by a wood water table encircling the house. The concrete foundation is pierced by window openings with single and paired 4-light casement windows. A white brick exterior chimney is located on the west elevation and has a brand and horsehead decorations that symbolizes Albena Campanella's membership in the Petticoat Patrol and the Butte Saddle Club. The chimney was added to the house after 1969. It appears that some of the windows were replaced by two-light casement units at some point within the last twenty years.

Façade. The primary entry is central to the north façade. It is reached by concrete steps and a stoop flanked by wrought iron railings. The doorway has a wood door with a recent storm addition. The entry is sheltered by a shed roof hood supported by wrought iron posts. The hood is clad with a fiberglass sheet. There are two two-light casement windows on the east façade and a large fixed glass window flanked by casement windows on the west façade. The flanking windows are slightly longer than the fixed light window. All the façade windows have decorative lintels.

East elevation. The east elevation has two 1/1 double-hung windows on the north. A fixed transom-type window is located between the double-hung units. A small two-light casement window is on the south of the elevation.

West elevation. The west elevation has the exterior chimney on the north and a Chicago-style window with a decorative lintel on the south.

Rear Façade. A secondary entry is centrally located on the rear façade. It is reached by concrete steps flanked by wrought railings. The doorway has a wood door with a recent storm addition. A fixed single-light window is adjacent to the doorway on the east and a single-light fixed window with a decorative lintel is on the east façade. A two-light casement window with a decorative lintel is on the west façade. A 12' x 24' concrete patio extends south from the rear steps. The patio is covered by a shed roof supported by decorative wrought iron posts. The roof consists of fiberglass.

Feature 2 is a 24' x 36' garage located at the back of the lot to the southeast of the residence. Built in 1970, it has a shed roof sheathed in asphalt with parapet walls in the east and west. The roof extends over the bays and has wood shingled fascia. The walls are clad in asbestos shingle

siding and the garage sits on a concrete pier foundation. There are three bay entries on the façade, each with a recent paneled overhead-type garage doors.

The lot is landscaped with Mountain Ash trees and lilac bushes.

Historical Information: A residence may have been located on this lot in the 1940s. The Butte City Directories indicate that Sam Campanella lived at 1410 Holmes Avenue in 1942 and 1948. A butcher and carpenter, Campanella lost the property to Silver Bow County for not paying his property taxes (he owed the county 86 cents on the property). In July 1951, the county sold the property to Carmen and Albena Campanella (it is not clear the relationship between Carmen and Sam as Sam does not appear in the 1940 census and never returned to Butte after serving in the military). They obtained the tax certificate to the property in July 1955 and built this house shortly thereafter. The Campanella's were occupying the house by 1957. Born in Butte in 1913, Carmen worked as a teamster for the Continental Concrete Company and as a miner for the Anaconda Copper Mining Company until retiring in 196*. He married Albena Uggetti in August 1933. The couple raised their two children in the house. Carmen died in March 1970 and ownership of the property passed solely to Albena in May of 1970. Albena passed away in April 1997. The current owner purchased the property in April 1998. It currently functions as a rental unit (Deed Book 249, pp. 465, 467; Butte City Directories; *Montana Standard*, 1970, 1997; US Census Records).

Integrity: The County Assessors' records indicate that there have been substantial changes made to this residence and garage since 1971. The house originally had wood shingle siding and large picture windows on the façade. The east façade window has been replaced by two recent casement windows. Vertical side windows have been added to the west façade window. The existing porch hood was in place by 1971. The original wood shingle siding was replaced with the existing siding within the past 40 years. A transom-type fixed window was installed between the two east elevation windows sometime after 1976 and the small window on the south elevation installed sometime since then as well. The exterior chimney on the west elevation was added between 1971 and 1976. The rear façade was modified sometime within the past 40 years.

The garage retains its original asbestos shingle siding. The elevation parapets are not original to the structure and the original sheet metal roofing was replaced by the existing rolled asphalt material sometime since 1976. The existing bay doors are not original to the structure.

Historical and/or Architectural Significance: Longtime Butte residents Carmen and Albena Campanella built this Ranch style house on what was then Butte's outskirts in 1955. Carmen Campanella worked as a teamster and a miner in Butte; Albena worked as a waitress at several Butte cafes and was involved in several female social organizations. Most of the dwellings on Holmes Avenue in the vicinity of this residence were constructed in the 1920s and 1930s. The nearby Shamrock Motel (24SB1052) is the only contemporary-built structure in the house's proximity. The Campanella Residence is not associated with a wave of residential development in this area following World War II.

The residence has been significantly altered since 1971 and retains poor integrity. Although it retains its historic footprint, modifications to the residence include the removal of the original

asbestos shingle siding with the existing masonite and wood sheet siding, the replacement and modifications of windows on the front façade and east and west elevations, and the addition of the exterior chimney on the west elevation. The alterations introduced elements and materials that are not compatible with the original design and appearance of the dwelling. The Carmen and Albena Campanella Residence is, therefore, ineligible for the National Register of Historic Places.

2. THE SHAMROCK MOTEL (24SB1052)

Address: 1440 Holmes Avenue

Description: The Shamrock Motel site is a center court-type motel with the arms of the “U” opening to the north toward Holmes Avenue. The site occupies the southeast corner of the intersection of Holmes Avenue and Warren Avenue. It is set back on the lot. There are two features associated with the site: the motel (F-1) and a carport (F-2).

Feature 1 is the former motel. It is U-shaped center court-type motel that was constructed in 1954. The property includes an east-west section at the rear of the lot that housed the office, manager’s quarters, and laundry. Two wings extend to the north and are attached to the east-west section of the building, creating a court in the center of the property. The east-west section is 10’ x 90’ while the east north-south “arm” is 13’ x 105’ with 86’ fronting on the court. The west “arm” is 13’ x 81’ also with 86’ fronting on the center court. The building sits on a concrete block foundation. The wings have gable roofs, while the east-west section has a salt box roof. All are sheathed in asphalt shingles. A shed roof addition on the rear has a recent channeled metal roof. The walls of the motel are composed of concrete blocks with siding placed over the façade and the north ends of the wings. The façade and elevations of the property are sided in vinyl with corner “boards,” while the rear façade of the wings display the concrete block construction. A section on the southeast corner is clad in asbestos siding. Windows throughout the building have been replaced with fixed single-light windows on the façade and two-light casements on the rear façade and east and west sides of the wings. The vinyl siding has obscured many of the features associated with the motel. There are nine gable roof hoods sheltering nine entrances to the building (the building originally had twelve guest units). The hoods are original to the structure. The roofs are sheathed in asphalt shingles and the gable ends are clad in vinyl. The doorways all have recent wood panel doors; some have single fixed lights. The fenestration reflects the building’s function as a motel, but some of the original entrances have been sided over.

The rear façade of the west wing has six window openings. One is in-filled, but the remaining three are recent two-light casements; some have wire mesh covers. A small window on the south corresponded to a bathroom and also has a recent two-light casement window. The rear façade of the east wing has four window openings. All have recent two-light casement windows. A doorway is located on the south of the rear façade. It is sheltered by a shed roof hood sheathed in asphalt. The roof is supported by wrought iron brackets. The doorway has a wood door that opens to the east.

The rear of the east-west section also has exposed concrete blocks. There are three window openings on the east; all have recent two-light casement windows. A separate concrete block utility building has been incorporated into the main section. It has a low-pitched roof sheathed in

asphalt shingles. All the windows and doorways have been infilled with concrete blocks. The west rear façade of the section has three windows, all with recent two-light casement windows.

A shed roof addition was recently been added to the west rear of the east-west section. It corresponds with Axelson's Alternative Cremation's operations. The rear addition is clad in vinyl siding. There is a single doorway central to the west façade of the addition; it has a wood door.

Feature 2 is a recent carport located just behind the motel. It has a gable roof and metal frame clad in vinyl siding. The roof is sheathed in vinyl. The carport opens to the east.

Historical Information: In September 1947, Butte entrepreneur Mary June "M.J." Cannon sold this property to Mary McBride, the wife of popular Butte saloonkeeper, Thomas McBride. Born in Ireland, Mary moved to Butte in 1911 and married Thomas around 1914. Mary bought the property in behalf of her husband, who hired a contractor to build a 12-unit motel at the southeast corner of Holmes and Warren avenues. At that time, Holmes Avenue was also known as US Highway 10-South. The motel opened for business in June 1954. An advertisement in the *Montana Standard* announced the opening of the "All New Shamrock Motel." The motel boasted "new modern furniture [and the] finest beds – panel ray heat." A trailer park adjoined the motel on the south (the current site of a trailer park). The advertisement concluded "Make your Butte home the new Shamrock Motel . . ." Indeed, shortly after the opening of the establishment, McBride advertised in the classifieds the availability of one and two bedroom apartments with kitchenettes in the motel. McBride and his wife, Mary, lived in the motel (Deed Book 206, pp. 67-68; US Census Records; *The Montana Standard*).

Within just a couple years, Thomas and Mary McBride decided to retire and put the motel up for sale. The *Montana Standard* advertised it as "Butte's Best Buy." The property included the motel and a 24 hook-up trailer court on adjoining 5 acres of land. McBride asked \$42,000 for the property. In May 1956, local realtor Ben Dreher purchased the motel and trailer park as an investment. Dreher owned it for less than a year before selling it to Butte realtor John A. and Mary Bender. In addition to his realty company, Bender was also part-owner of Bender & Peterlie Trailer Sales on Harrison Avenue. Both Dreher and Bender did not live on the property, but hired men as live-in managers of the motel. In July 1968, the Benders sold the motel to Eldridge and Iren Petersen. The couple lived in the motel; Irene was the business's manager, while Eldridge speculated in real estate. They sold the motel to their son and daughter-in-law, Don and Ann Petersen in May 1974. The motel closed in 1982 and remained vacant until 1990 when it was adapted for use as a strip mall. The current owners, Christian and Connie DuToit purchased the property in 1997 and remodeled it into its current appearance and renamed it the Timber Butte Square (Deed Book 252, p. 545; Ibid, book 264. P. 349; Ibid, book 369, pp. 219-22; Butte City Directories; *The Montana Standard*; Deed Book 369, p. 221-222; Montana Cadastral Records).

The historical record suggests that the Shamrock Motel and Trailer Court was not one of Butte's finest motels. The owners continually advertised for tenants in the *Montana Standard* during the 1950s and 1960s. The police frequently responded to calls there about theft, domestic violence, a fire, and, in one instance, a high school brawl. The Butte city directory rarely listed tenants in the motel. The motel closed in 1982 (the trailer court is still located to the south of the site). For

a time it operated as Design Factory and Beard Discount Sports Wear. The current owners purchased the property in 1997 and remodeled it. It has functioned as Timber Butte Square since 1997 (*Montana Standard*, 1955-1971; Butte City Directories, 1955-2000).

Integrity: The Shamrock Motel occupies its original site and the general footprint of the building has not significantly changed since 1954. The setting is also largely still intact with the golf course across the road and the adjacent residences. A 1980s housing project is located across the road to the north. The façade of the building has been significantly altered with vinyl siding, new windows, and the obscuring of most of the original entrances to the motel's guest rooms. The rear of the building, however, still has the concrete block walls exposed, but all of the windows have been replaced by casement units. The utility building at the rear of the building, once a separate unit, has been incorporated into the building. The existing window units on the rear of the building are smaller than the original features. The original Shamrock Motel sign has also been removed and replaced with the existing sign adjacent to the Holmes Avenue. Although the property displays the general feeling of a center court motel, it does not provide the appearance of a motel with the alterations that have occurred within the past 30 years. Its association with US Highway 10-S is also intact, but its function as a motel is less obvious.

Historical and/or Architectural Significance: The Shamrock Motel was one of 22 motels operating in Butte in the 1950s. All displayed the same basic configuration: three sections enclosing a center court. Unlike the others, the Shamrock didn't include a swimming pool or grassed-in area where kids could play and guests could socialize. In fact, the motel appears to have functioned more as an apartment complex than a motel for travelers. It displayed none of the charm and uniqueness of the Skook-um Motel and the Capris Motel in the uptown. The simple footprint and design of the motel was largely architecturally nondescript.⁶ Beginning in the late 1980s, the motel ceased operating as a motel and was reused as a commercial center. The layout of the rooms proved unsuitable to that use. Consequently, the façade of the motel was significantly altered to serve its new function. New vinyl siding obscured some of the old guest room entrances and any other decorative elements that may have been present, including windows. New window units were installed throughout the building and additions added to the rear of the property. Because of the changes, the Shamrock Motel is ineligible for the National Register of Historic Places.

Summary

A cultural resource survey of the survey area was conducted by the author on July 7, 2016. Two historic-age properties were inventoried within the APE for the proposed project: the Carmen and Albenia Campanella Residence (24SB1051) and the Shamrock Motel (24SB1052). Both historic properties are ineligible for the National Register for the reasons cited in the report above.

⁶ The simplicity of design indicates that a standard plan may have been used to construct the building and that it was constructed quickly to take advantage of the booming tourism industry. Most of the motels in Butte were located on Harrison Avenue. The Shamrock was the only such business located on Holmes Avenue, then a part of US Highway 10-South.

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Property Appraisal Records. Butte-Silver Bow County Archives. Silver Bow County Courthouse. Butte, Montana.

Report of State Highway Commission of Montana for Period Ending December 1928. Helena: State Highway Commission, 1928.

“A Ribbon of Stone, Stretching from Montana Street to Holmes Avenue, Grows Like Magic Behind Paving Crew.” *The Anaconda Standard*, 23 September 1923.

Sanders, Helen Fitzgerald. *History of Montana*. Three volumes. Chicago: Lewis Publishing, 1913.

Spritzer, Don. *The Roadside History of Montana*. Missoula: Mountain Press, 1999.

Stout, Tom. *Montana: Its Story and Biography*. Three volumes. Chicago: American Historical Society, 1921.

“Up to Secretary Now, Says H. C. Kuhl.” *The Anaconda Standard*, 24 April 1923.

“Women Killed in a Collision Train and Auto.” *The Anaconda Standard*, 3 June 1918.

APPENDIX

Historic Property Record Forms

The Carmen & Albena Campanella Residence (24SB1051)

The Shamrock Motel (24SB1052)

MONTANA HISTORIC PROPERTY RECORD

For the Montana National Register of Historic Places Program and State Antiquities Database

Montana State Historic Preservation Office
Montana Historical Society
PO Box 201202, 1410 8th Ave
Helena, MT 59620-1202

Property Address: 1410 Holmes Avenue Historic Address (if applicable): City/Town: Butte	Site Number: 24 SB 1051 (An historic district number may also apply.) County: Silver Bow
Historic Name: Carmen & Albena Campanella Residence Original Owner(s): Carmen & Albena Campanella Current Ownership <input checked="" type="checkbox"/> Private <input type="checkbox"/> Public Current Property Name: Gearhart Rental Owner(s): Mark Gearhart Owner Address: 3150 Aviemore Court Billings, MT 59101-9108 Phone:	Legal Location PM: Montana Township: 3N Range: 7W NE¼ NE¼ NW¼ of Section: 31 Lot(s): 4-7 Block(s): 1 Addition: St. Paul Townsite Year of Addition: 1913 USGS Quad Name: Butte South Year: 1989
Historic Use: Residence Current Use: Residence Construction Date: 195* <input type="checkbox"/> Estimated <input checked="" type="checkbox"/> Actual <input checked="" type="checkbox"/> Original Location <input type="checkbox"/> Moved Date Moved:	UTM Reference www.nris.mt.gov/topofinder2 <input type="checkbox"/> NAD 27 or <input checked="" type="checkbox"/> NAD 83(preferred) Zone: 12 Easting: 382296 Northing: 5092365
National Register of Historic Places NRHP Listing Date: Historic District: NRHP Eligible: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of this document: July 8, 2016 Form Prepared by: Jon Axline Address: Montana Dept. of Transportation, Helena Daytime Phone: 406-444-6258
MT SHPO USE ONLY Eligible for NRHP: <input type="checkbox"/> yes <input type="checkbox"/> no Criteria: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D Date: Evaluator:	Comments:

MONTANA HISTORIC PROPERTY RECORD

PAGE 2

Property Name: **Carmen & Albena Campanella Residence**

Site Number: **24 SB 1051**

ARCHITECTURAL DESCRIPTION

See Additional Information Page

Architectural Style: **Ranch** If Other, specify:
Property Type: **Residential** Specific Property Type: **Single family dwelling**

Architect: **N/A** Architectural Firm/City/State:
Builder/Contractor: **Sam & Carmen Campanella** Company/City/State: **Butte, MT**
Source of Information: **Butte City Directories**

Concisely, accurately, and completely describe the property and alterations with dates. Number the buildings and features to correlate with the Site Map.

The site consists of a residence (F-1) and detached garage (F-2). The residence was constructed in 1957 and the garage in 1970. They are located at the southwest corner of Holmes Avenue and Gaylord Street and face north onto Holmes.

Feature 1 is a 1-story vernacular Ranch style residence. The 28' x 40' dwelling that sits on a concrete foundation with a daylight basement. The hip roof is sheathed in asphalt shingles and the walls are clad in masonite and wood sheet siding. The siding is masonite on the upper zone and plywood on the lower zone. The zones are delineated by a wood water table encircling the house. The concrete foundation is pierced by window openings with single and paired 4-light casement windows. A white brick exterior chimney is located on the west elevation and has a brand and horsehead decorations that symbolizes Albena Campanella's membership in the Petticoat Patrol and the Butte Saddle Club. The chimney was added to the house after 1969. It appears that some of the windows were replaced by two-light casement units at some point within the last twenty years.

Façade. The primary entry is central to the north façade. It is reached by concrete steps and a stoop flanked by wrought iron railings. The doorway has a wood door with a recent storm addition. The entry is sheltered by a shed roof hood supported by wrought iron posts. The hood is clad with a fiberglass sheet. There are two two-light casement windows on the east façade and a large fixed glass window flanked by casement windows on the west façade. The flanking windows are slightly longer than the fixed light window. All the façade windows have decorative lintels.

East elevation. The east elevation has two 1/1 double-hung windows on the north. A fixed transom-type window is located between the double-hung units. A small two-light casement window is on the south of the elevation.

West elevation. The west elevation has the exterior chimney on the north and a Chicago-style window with a decorative lintel on the south.

Rear Façade. A secondary entry is centrally located on the rear façade. It is reached by concrete steps flanked by wrought railings. The doorway has a wood door with a recent storm addition. A fixed single-light window is adjacent to the doorway on the east and a single-light fixed window with a decorative lintel is on the east façade. A two-light casement window with a decorative lintel is on the west façade. A 12' x 24' concrete patio extends south from the rear steps. The patio is covered by a shed roof supported by decorative wrought iron posts. The roof consists of fiberglass.

The lot is landscaped with Mountain Ash trees and lilac bushes.

Feature 2 is a 24' x 36' garage located at the back of the lot to the southeast of the residence. It has a shed roof sheathed in asphalt with parapet walls in the east and west. The roof extends over the bays and has wood shingled fascia. The walls are clad in asbestos shingle siding and the garage sits on a concrete pier foundation. There are three bay entries on the façade, each with a recent paneled overhead-type garage doors.

MONTANA HISTORIC PROPERTY RECORD

PAGE 3

Property Name: **Carmen & Albena Campanella Residence**

Site Number: **24 SB 1051**

HISTORY OF PROPERTY

See Additional Information Page

A residence may have been located on this lot in the 1940s. The Butte City Directories indicate that Sam Campanella lived at 1410 Holmes Avenue in 1942 and 1948. A butcher and carpenter, Campanella lost the property to Silver Bow County for not paying his property taxes (he owed the county 86 cents on the property). In July 1951, the county sold the property to Carmen and Albena Campanella (it is not clear the relationship between Carmen and Sam as Sam does not appear in the 1940 census and never returned to Butte after serving in the military). They obtained the tax certificate to the property in July 1955 and built this house shortly thereafter. The Campanella's were occupying the house by 1957. Born in Butte in 1913, Carmen worked as a teamster for the Continental Concrete Company and as a miner for the Anaconda Copper Mining Company until retiring in 196*. He married Albena Uggetti in August 1933. The couple raised their two children in the house. Carmen died in March 1970 and ownership of the property passed solely to Albena in May of 1970. Albena passed away in April 1997. The current owner purchased the property in April 1998. It currently functions as a rental unit (Deed Book 249, pp. 465, 467; Butte City Directories; *Montana Standard*, 1970, 1997; US Census Records).

INFORMATION SOURCES/BIBLIOGRAPHY

See Additional Information Page

"Albena Campanella." *The Montana Standard*, 23 April 1997.

Appraisal Forms. Butte-Silver Bow County Archives. Butte, MT.

Butte City Directories, 1954-1995.

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Deed Records. Clerk & Records Office. Silver Bow County Courthouse. Butte, MT.

MONTANA HISTORIC PROPERTY RECORD

PAGE 4

Property Name: **Carmen & Albena Campanella Residence**

Site Number: **24 SB 1051**

NATIONAL REGISTER OF HISTORIC PLACES

NRHP Listing Date:

NRHP Eligibility: Yes No Individually Contributing to Historic District Noncontributing to Historic District

NRHP Criteria: A B C D

Area of Significance: _____ Period of Significance: _____

STATEMENT OF SIGNIFICANCE

See Additional Information Page

Longtime Butte residents Carmen and Albena Campanella built this Ranch style house on what was then Butte's outskirts in 1955. Carmen Campanella worked as a teamster and a miner in Butte; Albena worked as a waitress at several Butte cafes and was involved in several female social organizations. Most of the dwellings on Holmes Avenue in the vicinity of this residence were constructed in the 1920s and 1930s. The nearby Shamrock Motel (24SB****) is the only contemporary-built structure in the house's proximity. The Campanella Residence is not associated with a wave of residential development in this area following World War II.

The residence has been significantly altered since 1971 and retains poor integrity. Although it retains its historic footprint, modifications to the residence include the removal of the original asbestos shingle siding with the existing masonite and wood sheet siding, the replacement and modifications of windows on the front façade and east and west elevations, and the addition of the exterior chimney on the west elevation. The alterations introduced elements and materials that are not compatible with the original design and appearance of the dwelling. The Carmen and Albena Campanella Residence is, therefore, ineligible for the National Register of Historic Places.

INTEGRITY (location, design, setting, materials, workmanship, feeling, association)

See Additional Information Page

The County Assessors' records indicate that there have been substantial changes made to this residence and garage since 1971. The house originally had wood shingle siding and large picture windows on the façade. The east façade window has been replaced by two recent casement windows. Vertical side windows have been added to the west façade window. The existing porch hood was in place by 1971. The original wood shingle siding was replaced with the existing siding within the past 40 years. A transom-type fixed window was installed between the two east elevation windows sometime after 1976 and the small window on the south elevation installed sometime since then as well. The exterior chimney on the west elevation was added between 1971 and 1976. The rear façade was modified sometime within the past 40 years.

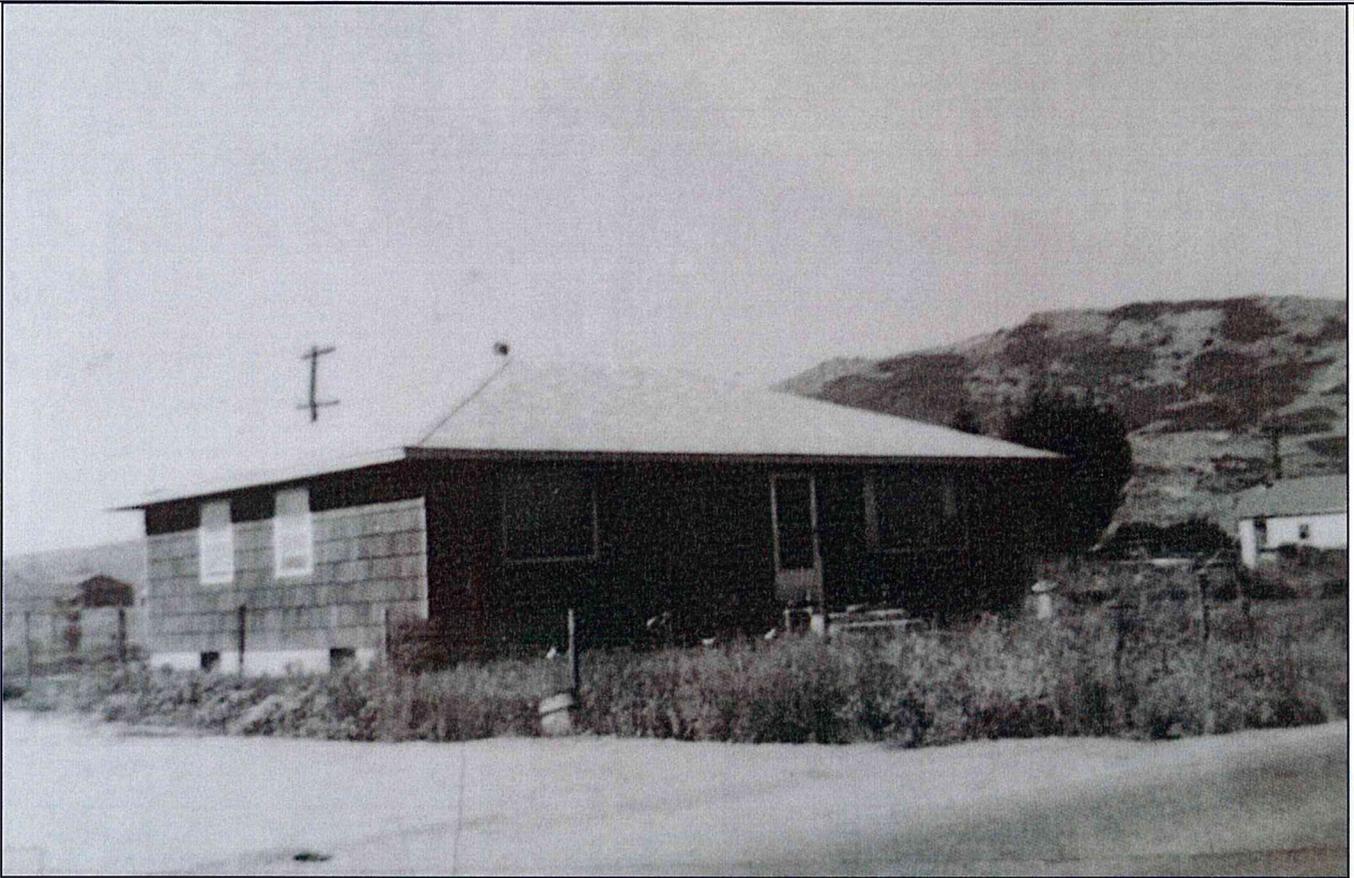
The garage retains its original asbestos shingle siding. The elevation parapets are not original to the structure and the original sheet metal roofing was replaced by the existing rolled asphalt material sometime since 1976. The existing bay doors are not original to the structure.

MONTANA HISTORIC PROPERTY RECORD

ADDITIONAL INFORMATION PAGE

Property Name: **Carmen & Albena Campanella Residence**

Site Number: **24 SB 1051**



Photograph of Campanella Residence taken for the 1970 appraisal of the property. Photograph from the Butte-Silver Bow County Archives.

MONTANA HISTORIC PROPERTY RECORD
PHOTOGRAPHS

Property Name: Carmen & Albena Campanella Residence

Site Number: 24 SB 1051



Roll #
Frame #
Feature #
Facing: **SW**
Description: **Façade**



Roll #
Frame #
Feature #
Facing: **South**
Description: **Facade**

MONTANA HISTORIC PROPERTY RECORD

SITE MAP

Property Name: **Carmen & Albena Campanella Residence**

Site Number: **24 SB 1051**

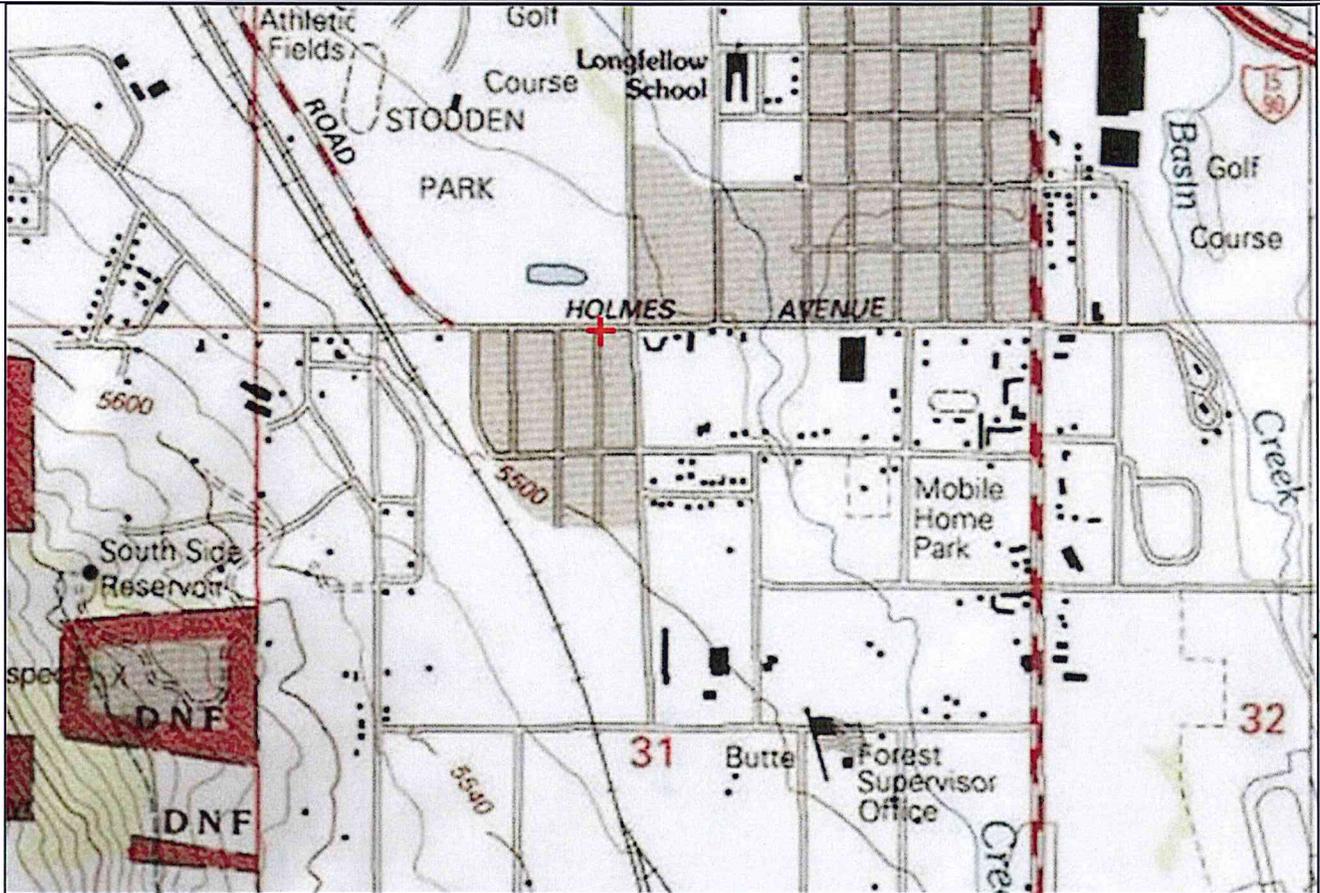


MONTANA HISTORIC PROPERTY RECORD

TOPOGRAPHIC MAP

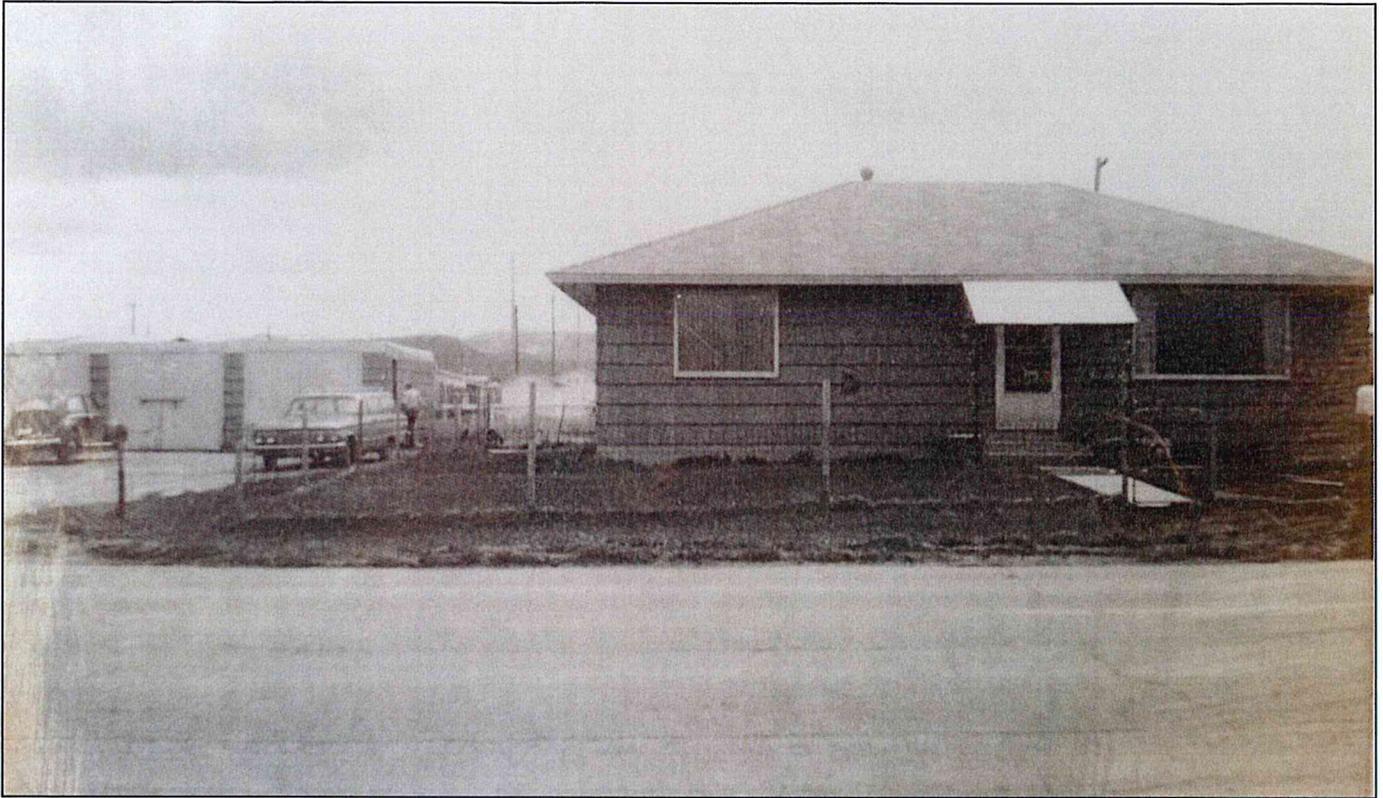
Property Name: Carmen & Albena Campanella Residence

Site Number: 24 SB 1051





Rear façade of Campanella Residence. View to the north.



Photograph of Campanella Residence taken for the 1978 appraisal of the property. Photograph from the Butte-Silver Bow County Archives.

MONTANA HISTORIC PROPERTY RECORD

For the Montana National Register of Historic Places Program and State Antiquities Database

Montana State Historic Preservation Office
Montana Historical Society
PO Box 201202, 1410 8th Ave
Helena, MT 59620-1202

Property Address: **1440 Holmes Avenue**

Historic Address (if applicable): **1460 Holmes Avenue**

City/Town: **Butte**

Site Number: **24 SB 1052**

(An historic district number may also apply.)

County: **Silver Bow**

Historic Name: **Shamrock Motel & Trailer Court**

Original Owner(s): **Thomas McBride**

Current Ownership Private Public

Current Property Name: **Timber Butte Square**

Owner(s): **Christian and Connie DuToit**

Owner Address: **PO Box 4395
Butte, MT 59702-4395**

Phone:

Legal Location

PM: **Montana** Township: **3N** Range: **7W**

$\frac{1}{4}$ **NW** $\frac{1}{4}$ **NE** $\frac{1}{4}$ of Section: **31**

Lot(s): **1**

Block(s):

Addition: **Dutoit Minor Subdivision** Year of Addition: **1997**

USGS Quad Name: **Butte South** Year: **1989**

Historic Use: **Motel**

Current Use: **Commercial/Strip Mall**

Construction Date: **1954** Estimated Actual

Original Location Moved Date Moved:

UTM Reference www.nris.mt.gov/topofinder2

NAD 27 or NAD 83(preferred)

Zone: **12** Easting: **382401** Northing: **5092346**

National Register of Historic Places

NRHP Listing Date:

Historic District:

NRHP Eligible: Yes No

Date of this document: **July 8, 2016**

Form Prepared by: **Jon Axline**

Address: **Montana Dept. of Transportation, Helena**

Daytime Phone: **406-444-6258**

MT SHPO USE ONLY

Eligible for NRHP: yes no

Criteria: A B C D

Date:

Evaluator:

Comments:

MONTANA HISTORIC PROPERTY RECORD

PAGE 2

Property Name: **Shamrock Motel & Trailer Court**

Site Number: **24 SB 1052**

ARCHITECTURAL DESCRIPTION

See Additional Information Page

Architectural Style: **OTHER** If Other, specify: **No Style**

Property Type: **Commercial** Specific Property Type: **Motel/Center Court**

Architect: **N/A** Architectural Firm/City/State:

Builder/Contractor: **Unknown** Company/City/State:

Source of Information:

Concisely, accurately, and completely describe the property and alterations with dates. Number the buildings and features to correlate with the Site Map.

The Shamrock Motel site is a center court-type motel with the arms of the "U" opening to the north toward Holmes Avenue. The site occupies the southeast corner of the intersection of Holmes Avenue and Warren Avenue. It is set back on the lot. There are two features associated with the site: the motel (F-1) and a carport (F-2).

Feature 1 is the former motel. It is U-shaped center court-type motel that was constructed in 1954. The property includes an east-west section at the rear of the lot that housed the office, manager's quarters, and laundry. Two wings extend to the north and are attached to the east-west section of the building, creating a court in the center of the property. The east-west section is 10' x 90' while the east north-south "arm" is 13' x 105' with 86' fronting on the court. The west "arm" is 13' x 81' also with 86' fronting on the center court. The building sits on a concrete block foundation. The wings have gable roofs, while the east-west section has a salt box roof. All are sheathed in asphalt shingles. A shed roof addition on the rear has a recent channeled metal roof. The walls of the motel are composed of concrete blocks with siding placed over the façade and the north ends of the wings. The façade and elevations of the property are sided in vinyl with corner "boards," while the rear façade of the wings display the concrete block construction. A section on the southeast corner is clad in asbestos siding. Windows throughout the building have been replaced with fixed single-light windows on the façade and two-light casements on the rear façade and east and west sides of the wings. The vinyl siding has obscured many of the features associated with the motel. There are nine gable roof hoods sheltering nine entrances to the building (the building originally had twelve guest units). The hoods are original to the structure. The roofs are sheathed in asphalt shingles and the gable ends are clad in vinyl. The doorways all have recent wood panel doors; some have single fixed lights. The fenestration reflects the building's function as a motel, but some of the original entrances have been sided over.

The rear façade of the west wing has six window openings. One is in-filled, but the remaining three are recent two-light casements; some have wire mesh covers. A small window on the south corresponded to a bathroom and also has a recent two-light casement window. The rear façade of the east wing has four window openings. All have recent two-light casement windows. A doorway is located on the south of the rear façade. It is sheltered by a shed roof hood sheathed in asphalt. The roof is supported by wrought iron brackets. The doorway has a wood door that opens to the east.

The rear of the east-west section also has exposed concrete blocks. There are three window openings on the east; all have recent two-light casement windows. A separate concrete block utility building has been incorporated into the main section. It has a low-pitched roof sheathed in asphalt shingles. All the windows and doorways have been infilled with concrete blocks. The west rear façade of the section has three windows, all with recent two-light casement windows.

A shed roof addition was recently been added to the west rear of the east-west section. It corresponds with Axelson's Alternative Cremation's operations. The rear addition is clad in vinyl siding. There is a single doorway central to the west façade of the addition; it has a wood door.

Feature 2 is a recent carport located just behind the motel. It has a gable roof and metal frame clad in vinyl siding. The roof is sheathed in vinyl. The carport opens to the east.

MONTANA HISTORIC PROPERTY RECORD

PAGE 3

Property Name: **Shamrock Motel & Trailer Court**

Site Number: **24 SB 1052**

HISTORY OF PROPERTY

See Additional Information Page

In September 1947, Butte entrepreneur Mary June "M.J." Cannon sold this property to Mary McBride, the wife of popular Butte saloonkeeper, Thomas McBride. Born in Ireland, Mary moved to Butte in 1911 and married Thomas around 1914. Mary bought the property in behalf of her husband, who hired a contractor to build a 12-unit motel at the southeast corner of Holmes and Warren avenues. At that time, Holmes Avenue was also known as US Highway 10-South. The motel opened for business in June 1954. An advertisement in the *Montana Standard* announced the opening of the "All New Shamrock Motel." The motel boasted "new modern furniture [and the] finest beds – panel ray heat." A trailer park adjoined the motel on the south (the current site of a trailer park). The advertisement concluded "Make your Butte home the new Shamrock Motel . . ." Indeed, shortly after the opening of the establishment, McBride advertised in the classifieds the availability of one and two bedroom apartments with kitchenettes in the motel. McBride and his wife, Mary, lived in the motel (Deed Book 206, pp. 67-68; US Census Records; *The Montana Standard*).

Within just a couple years, Thomas and Mary McBride decided to retire and put the motel up for sale. The *Montana Standard* advertised it as "Butte's Best Buy." The property included the motel and a 24 hook-up trailer court on adjoining 5 acres of land. McBride asked \$42,000 for the property. In May 1956, local realtor Ben Dreher purchased the motel and trailer park as an investment. Dreher owned it for less than a year before selling it to Butte realtor John A. and Mary Bender. In addition to his realty company, Bender was also part-owner of Bender & Peterlie Trailer Sales on Harrison Avenue. Both Dreher and Bender did not live on the property, but hired men as live-in managers of the motel. In July 1968, the Benders sold the motel to Eldridge and Iren Petersen. The couple lived in the motel; Irene was the business's manager, while Eldridge speculated in real estate. They sold the motel to their son and daughter-in-law, Don and Ann Petersen in May 1974. The motel closed in 1982 and remained vacant until 1990 when it was adapted for use as a strip mall. The current owners, Christian and Connie DuToit purchased the property in 1997 and remodeled it into its current appearance and renamed it the Timber Butte Square (Deed Book 252, p. 545; *ibid*, book 264, p. 349; *ibid*, book 369, pp. 219-22; Butte City Directories; *The Montana Standard*; Deed Book 369, p. 221-222; Montana Cadastral Records).

INFORMATION SOURCES/BIBLIOGRAPHY

See Additional Information Page

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"Mary McBride Rites Set Friday." *The Montana Standard*, 26 November 1958.

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MONTANA HISTORIC PROPERTY RECORD

PAGE 4

Property Name: **Shamrock Motel & Trailer Court**

Site Number: **24 SB 1052**

NATIONAL REGISTER OF HISTORIC PLACES

NRHP Listing Date:

NRHP Eligibility: Yes No Individually Contributing to Historic District Noncontributing to Historic District

NRHP Criteria: A B C D

Area of Significance:

Period of Significance:

STATEMENT OF SIGNIFICANCE

See Additional Information Page

The Shamrock Motel was one of 22 motels operating in Butte in the 1950s. Motels built in the 1950s displayed the same basic configuration: three sections enclosing a center court. Unlike the others, the Shamrock didn't include a swimming pool or grassed-in area where kids could play and guests could socialize. In fact, the motel appears to have functioned more as an apartment complex than a motel for travelers. It displayed none of the charm and uniqueness of the Skook-um Motel on Harrison Avenue or the Capris Motel in uptown Butte. The simple footprint and design of the motel was largely architecturally nondescript. Beginning in 1982, it ceased operating as a motel and was reused as a commercial center. The layout of the rooms proved unsuitable to that use. Consequently, the façade of the motel was significantly altered to serve its new function. New vinyl siding obscured some of the old guest room entrances and any other decorative elements that may have been present, including windows. New window units were installed throughout the building and additions added to the rear of the property. Because of the changes, the Shamrock Motel is ineligible for the National Register of Historic Places.

INTEGRITY (location, design, setting, materials, workmanship, feeling, association)

See Additional Information Page

The Shamrock Motel occupies its original site and the general footprint of the building has not significantly changed since 1954. The setting is also largely still intact with the golf course across the road and the adjacent residences. A 1980s housing project is located across the road to the north. The façade of the building has been significantly altered with vinyl siding, new windows, and the obscuring of most of the original entrances to the motel's guest rooms. The rear of the building, however, still has the concrete block walls exposed, but all of the windows have been replaced by casement units. The utility building at the rear of the building, once a separate unit, has been incorporated into the building. The existing window units on the rear of the building are smaller than the original features. The original Shamrock Motel sign has also been removed and replaced with the existing sign adjacent to the Holmes Avenue. Although the property displays the general feeling of a center court motel, it does not provide the appearance of a motel with the alterations that have occurred within the past 30 years. Its association with US Highway 10-S is also intact, but its function as a motel is less obvious.

MONTANA HISTORIC PROPERTY RECORD

ADDITIONAL INFORMATION PAGE

Property Name: **Shamrock Motel & Trailer Court**

Site Number: **24 SB 1052**

HISTORY OF PROPERTY (cont.)

The historical record suggests that the Shamrock Motel and Trailer Court was not one of Butte's finest motels. The owners continually advertised for tenants in the *Montana Standard* during the 1950s and 1960s. The police frequently responded to calls there about theft, domestic violence, a fire, and, in one instance, a high school brawl. The Butte city directory rarely listed tenants in the motel. The motel closed in 1982 (the trailer court is still located to the south of the site). For a time it operated as Design Factory and Beard Discount Sports Wear. The current owners purchased the property in 1997 and remodeled it. It has functioned as Timber Butte Square since 1997 (*Montana Standard*, 1955-1971; Butte City Directories, 1955-2000).

MONTANA HISTORIC PROPERTY RECORD
PHOTOGRAPHS

Property Name: Shamrock Motel & Trailer Court

Site Number: 24 SB 1052



Roll #
Frame #
Feature #
Facing: SW
Description:



Roll #
Frame #
Feature #
Facing: S
Description:

MONTANA HISTORIC PROPERTY RECORD

SITE MAP

Property Name: Shamrock Motel & Trailer Court

Site Number: 24 SB 1052

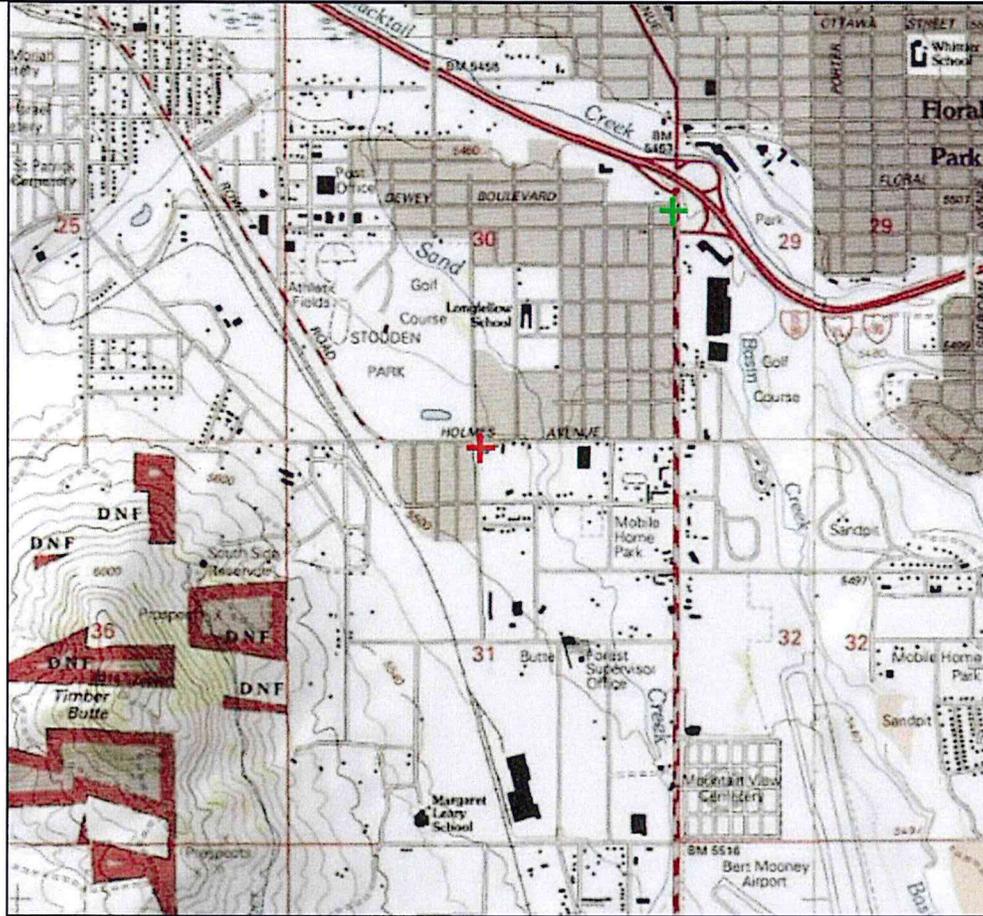


MONTANA HISTORIC PROPERTY RECORD

TOPOGRAPHIC MAP

Property Name: **Shamrock Motel & Trailer Court**

Site Number: **24 SB 1052**



The All New
SHAMROCK MOTEL

1440 Holmes Ave. and Rowe Road

New Modern Furniture

Finest Beds—Panel Ray Heat

TRAILER ACCOMMODATIONS

Adjoining

Make Your Butte Home

THE NEW SHAMROCK MOTEL

on Hiway 10-S



Rear façade of west wing. View to the northeast.



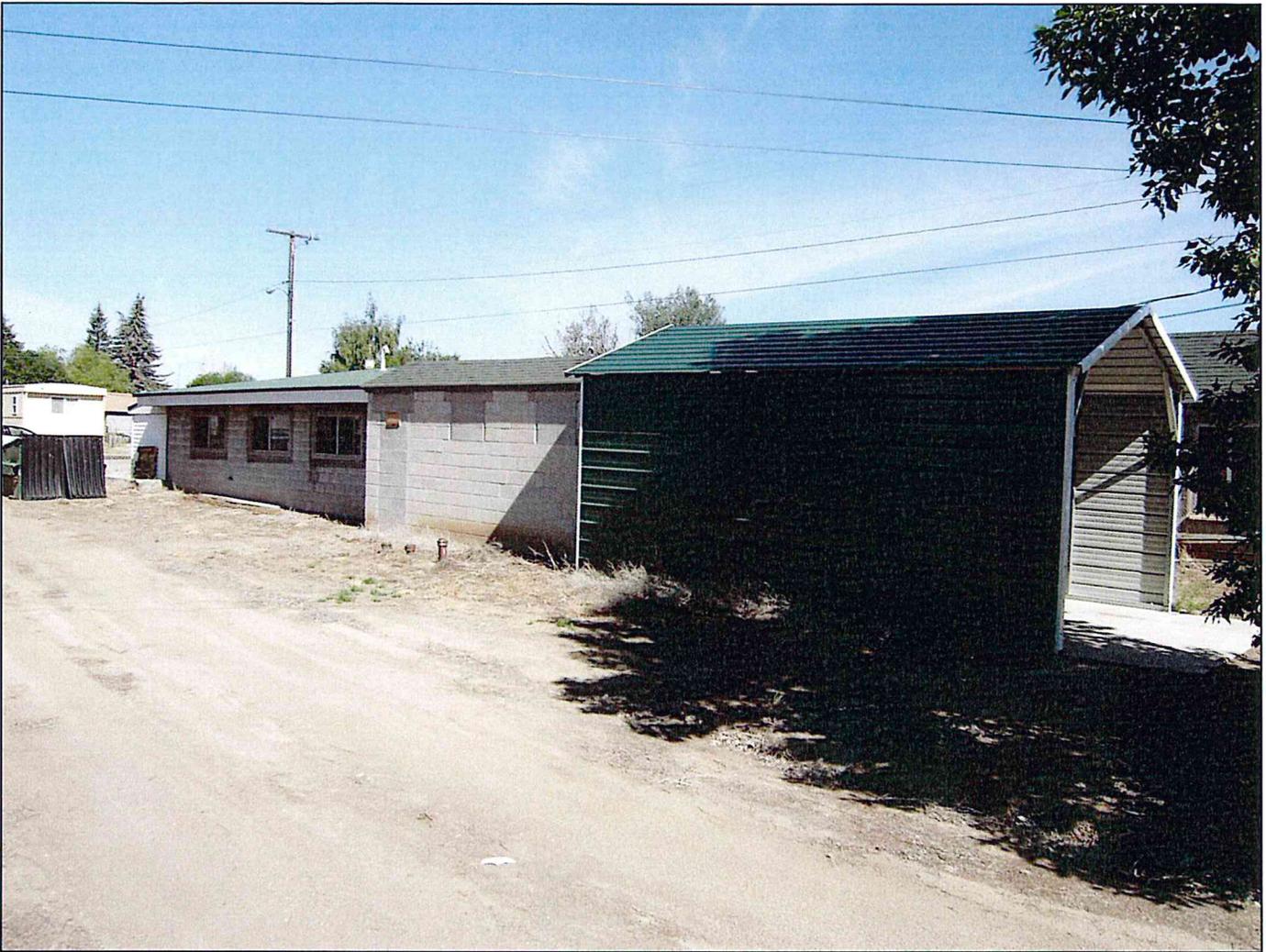
Façade of east wing. View to the southwest.



Façade of west wing. View to the southwest.



Rear façade of east wing. View to the west.



Rear façade of east-west section. View to the northwest.