

**HISTORIC PRESERVATION COMMISSION
MEETING AGENDA**

Wednesday, July 7, 2016 @ 5:30 PM
17 W Quartz S., Council Chambers, 3rd Floor Courthouse

- I. CALL TO ORDER
- II. ROLL CALL
- III. READING/APPROVAL OF THE PREVIOUS MONTH'S MINUTES, June 7, 2016
- IV. PUBLIC COMMENT – ITEMS ON THE AGENDA
- V. PRESENTATION: Brown Gulch Road Reconstruction Project,
MDT Project Manager, Joe Walsh
- VI. NEW/OLD BUSINESS
 - A. Design Review COA: 668 S. Montana St.
 - B. Design Review COA: Covellite Theater
 - C. Determination of Eligibility: 1354 Evans Ave.
 - D. GSA Undertaking at Mansfield Federal Building: Ceiling Lights Restoration
 - E. Proposed Communications Facility, Butte Country Club
- VII. STAFF/MEMBER REPORTS
 - Browns Gulch Title Work Project
- VIII. ANNOUNCEMENTS
- IX. PUBLIC COMMENT – ITEMS NOT ON THE AGENDA
- X. ADJOURNMENT



BUTTE-SILVER BOW HISTORIC PRESERVATION COMMISSION CERTIFICATE OF APPROPRIATENESS (COA) APPLICATION

- Demolition Review COA
 Design Review COA

OWNER INFORMATION

Name: 668 South Montana Street Partners LLC (Josh Brandsted and Steve Brandsted)
Address:
City: State: Zip:
Phone: E-Mail (optional):

APPLICANT INFORMATION (If different from owner)

Name:
Address:
City: State: Zip:
Phone: E-Mail (optional):

PROPERTY INFORMATION

Address: 668 S. Montana St.
Addition/Block/Lot: Welcome Stranger/Block 4/South Part Lot 6
Other Legal Description:

HISTORIC STATUS

- National Register Listed Individually
 Contributing to Butte-Anaconda National Historic Landmark District
National Register Eligible Individually
 Contributing to
Local Register Listed

SCOPE OF WORK (Describe the proposed project in detail. Insert or attach maps, drawings, reports, photographs or other materials as specified by the "SUBMITAL REQUIREMENTS CHECKLIST" section of this form).

From Federal Tax Credit Application, Part 2, Prepared by Mark Reavis, Architect:

Brick Veneer-General

Existing Condition: As with most brick veneer in Butte Montana it is beginning to separate from the underlying board substrate and was only tied in with spike nails at approximately 4 foot centers. The severe temperature shifts has caused the mortar bed to loosen from the nails. It is also evident at the stress prone corners of the building separated cracking that appears to be from earthquake impacts by nature and/or nearby underground mine blasting. The cracks do not show signs of settlement cracking. Significant brick release has taken place at window and door openings.

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Work Proposed: The brick veneer on the secondary north and south as well as the east will be pulled back and anchored again to the underlying board substrates in-order to preserve the original historic brick fabric. A typical vernacular repair that is seen all over Butte is to use a lag-bolt with plate or washer to re-anchor the veneer. The anchor pattern will be in a 4 foot on center grid pattern and conducted only on the secondary and tertiary facades, and only at critical areas. The bolt and washers will be painted to match the brick color. At the areas of significant brick release at windows and doors the brick work will be removed systematically and re-anchored with corrugated masonry ties and reset with historically appropriate soft lime mortar (per SOI & NPS standards) at all required facades. NO ANCHOR AND WASHER BOLTING will take place on the primary west facade.

Brick Parapets

Existing Condition: The brick parapets of the building have been adversely impacted by their historic detailing and the shrinkage of the bituminous roofing over the century. The balloon wall framing termination and interface of the deck boards was historically detailed to NOT provide adequate support to the double (wyth) brick parapet above. Years of built-up roofing shrinkage also pulled the parapet inward toward the roof. Apparent inappropriate repairs have seem to been made, including use of non-matching mortar repairs. The primary facade's upper central parapet appears to have failed at one time and was an inadequate visual repair.

Work Proposed: The secondary north and south facade parapets will be supported with short cripple walls placed hidden behind the parapets and tied into the interior frame work repairs. The cripple walls are to be sheathed 2x4s at 16" OC. This work will be integrated with the structural work on the interior and the re-roofing of the building. The walls will be tied into the existing parapet top with metal ties and then plywood sheathing with positive drainage toward the roof's interior. The sheeting edge will be capped after the roof membrane is installed with a brick color matching "color-clad" metal drip edge of 1 & 1/2" maximum exposure, with no membrane showing. The primary facade's parapet will be reconstructed to repair and to reestablish the decorative brick detailing.

Front Porches and Stairs

Existing Condition: The walk-up stairs, porches and projecting roof have been removed from the primary west facade of this apartment flat. This defining feature is only evident in a historic photo and shadows remaining on the primary west facade. This missing assembly is a primary defining aspect of this architectural style which is the "Walk-up Flat". The walk-ups are primarily noted for their symmetry between their 4 shotgun units.

[HPO Comments: The front porch clearly retained is original qualities of design and materials when the first tax assessment photographs of the building were taken in 1959 (see attached photographs). Typical of Butte's walk-up flats it was an open, full length two-story porch with an exterior staircase providing access to the upper story. The staircase was at center and featured a single set of stairs from the ground level to an intermediary landing. Sets of stairs then ascended from both sides (north and south) of landing, or branched into a Y, with each set leading to a porch at one of the upper story apartments. A low hip roof covered the upper story porch. The porch was distinguished by slender round column supports and turned post balustrades at both the lower and upper stories. The column supports stood on square pedestals and were capped by simple capitals, and ball finials adorned the newel posts. The 1985 historic property form and photograph for this property (see attached), reveal that the

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porch retained most of its round columns and turned post balustrade at that time. Google Map's 2012 photograph of the building showed just two of the round column supports still standing, both at the lower story].

Work Proposed: The ground floor is to have a full linear porch across the west building face and 2 individual upper porches protected by a hip roof. The porches and roof are to be reconstructed per historic photographic documentation and the shadow markings of roofing tar and anchorage points that remain on the building face. The reconstruction will be performed per the simple detailing evident in the photo, that is indicated as square (& rectangular) cut lumber.

The accurate reconstruction of the symmetrical configuration of porches and stairs will reestablish the "walk-up" characteristics of the classic worker's flat. New construction replicating the symmetry of the facade will be maintained.

The ground floor porch is a continuous porch across the building's face with no guard railing, except for one protecting the southern side-edge as shown in the historic photo. The 2 individual upper porches are to be placed between the 4x4 square post columns, that support the protecting porch roof. These 2 porches have surrounding guard-railings of 2x4 horizontals (top and bottom) and spaced 2x2s vertical balustrades. The historic railing detailing are simple and not turned balustrades per the historic photographic evidence. A per-code additional horizontal 2x4 railing will span above to comply with the 42" guardrail height required.

The reestablished stairway is to be reconstructed accurately following the shadow pattern and mounting points evident on the building's face. Individual stairs from each upper porch meet at a central intermediate landing at a symmetrical point for the required historic appearance. The 2 short stair runs to the central landing are constructed to historic proportions matching the shadow on the facade with stair width assumed at typical historic width of 36" and treads extending under the railings by an additional 6". The central stair run complies with the historic photo per the number of risers and terminates at two 4x4 railing end-posts (with a beveled top edge detail) within the limits of the site. Mounted to the 4x4 posts at the stair bottom and mid landing transition are a 2x4 handrail and a lower rail that follow the slope of the stair run as indicated in the historic photo.

The roof size and proportions and slope are determined by the tar shadow remnant pattern on the building face. The structural 4x4 porch/roof support post locations are dictated by the shadow pattern of the stair starting points for the upper porches, which determines porch size per the indications on the brick face of the building. Per the historic photo the roof is a hip-roof that has been bisected lengthwise in half. The roof provides protection to the porches and stairs below. The new roof shall be framed and sheathed (color clad flashing at roof/brick joint) and shingled (dark asphalt architectural shingles) that replicates accurately the form evident on the facade and per the historic photo.

The exposed underside of the roof framing as well as the underside of the individual upper porches shall be enclosed with narrow bead-board soffit, a typical finish treatment of these simple buildings. Historic porch lighting, true to this historic era, will be selected, installed for individual apartment control.

Front Door and Transoms

Existing Condition: The primary west facade has 3 apparently original wood doors remaining. The doors are unique in that their window light is lower than typical, with a panel placed above. The doors have seen rough use and hardware has been changed many times with damage to the lock side and strike. The door on the upper south unit has been replaced with a flat slab door. Each door has a transom intended to be operable, that is currently missing its hardware.

[HPO comment: The 1959 photograph reveals that the building's original front doors were standard half-light doors with five cross panels below the window. Those doors look to have been still intact as of the 1985 inventory. It's possible that the "exiting doors," were the building's original back doors, relocated to the front of the building after 1985].

Work Proposed: All 3 historic doors will be retained and repaired, sanded filled, primed and painted. Weather stripping and a new threshold for each door will be installed. The strike and lock areas will be repaired and painted and the door fitted with a locking deadbolts to hold the door weather tight with historic hardware retained and replaced with similar where missing. These doors are not intended to be primary entries, and will be operated from the interior for access to the porches as weather allows and as secondary emergency exiting. The primary entries for each apartment will be from the tertiary facade and the back yard parking area, with the back doors as the secure tenant entries. The historic (front/west facade) doors will be fitted with interior mounted removable storm windows. The transoms will be made operable with historic style operating hardware - insect screens are currently installed and interior mounted removable storm windows will be installed. The missing door will be replicated and custom ordered to match exactly and will be primed and painted wood (wood species may vary).

West Windows-Primary Façade

Existing Condition: The large picture windows of the primary west facade consist of a large lower glazing and a fixed non-operable transom. All window units appear to be original. The window frames and brick molding are in relatively fair condition, with some separation at the joint of the molding and brick. The sill beam is in poor condition, shifted and undergoing failure and does not have positive water shedding drainage. The sill beams have been wrapped with metal in a poor craftsman like manner.

Work Proposed: The west windows will be retained, repaired, filled, primed & painted. The interior will be fitted with glass removable storm windows for the picture window and the transom above. The sill beams will be stripped of the metal, reset where possible (without fabric damage) and capped with a thin segment of beveled sided to provide positive drainage. The sill beams will be sanded, filled, primed and painted with all joints caulked to prevent water penetration for historic fabric preservation.

Secondary Façade Double Hung Windows

Existing Condition: All double hung windows of the buildings secondary facades (north & south) are in very poor condition. Each apartment unit has 2 double-hung units located more easterly on their secondary facades. The double-hung windows of the secondary facades at the south and north are in very poor conditions in their entirety. The sashes are extensively deteriorated or simply missing. The bottom member of each sash is rotted, warped and sagging with the glazing releasing. Virtually all glazing is cracked. Where sashes are missing inappropriate (non-historic) storm windows remain, these windows do not match historic proportions with intersecting intermediate mullions. The sashes that do remain are historically pin operated with no counter weights (an indication of the early construction date and utilitarian design). All of these windows are painted into place for many decades and are inoperable.

Work Proposed: The documented condition, missing components, inoperable condition and non-historic storms dictates that these openings be equipped with appropriate sash replacements. The sash replacements will be equal to Marvin's sash replacement system. Guides

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will be ordered in their darkest color and the sashes will be pre-primed and painted black (a typical Butte sash color that used locally produced creosote paint). The existing frame (head & jambs) will be retained and trim installed were missing. The exterior sill will be prepared and repaired in a similar manner as the primary facade.

[HPO Comment: assuming that the replacement windows are wood sash].

Bathroom Windows

Existing Condition: It is difficult to determine if any of the remaining bathroom windows are historic or not. The lower north units is entirely missing and a door opening was added and bricks removed (door now missing). Sashes are missing with the exception of two at the south units, with sash detailing more similar to a medicine cabinet than a true intended exterior window.

Work Proposed: New fixed double glazed wood window sashes will be custom ordered to fit the existing window frame openings to complete the bathroom installation. The sashes will be inoperable and stopped into place at indications remaining on the frames. The glazing will be frosted for privacy. Window sashes will be pre-primed and painted wood. The frame/brick mold will be prepared, filled, primed and painted and were missing replicated to match the remaining historic frames.

Back Porches and Stairs

Existing Condition: The roof framing and decking covering the upper back porches is in adequate condition for rehabilitation. The supporting roof posts of the upper decks are possibly in adequate condition for re-installation or will be replaced in-kind.

The double layer of floor T&G boards of the upper decks and underlying framing is deteriorated and actively failing. The floor of the upper back porch of the south unit has been cut and modified as a debris chute. The individual stairs to the upper apartments abutting the brick facade are apparently historic but of a non-compliant rise and run to meet code for proportion and are releasing, slopping and pulling away from the facade. The 2x4 railing protection appears non-historic while the post at the central landing has a historic top detailing.

The lower central stair that joins the individual stairs is reconstructed and of non-historic detailing. The individual stairs and central stair run are non-code compliant as main entry and existing for the building. The landing's transition posts do have a historic beveled detailing that should be noted and replicated in the reconstruction.

Work Proposed: The back stairway and porches are to be completely reconstructed with the exception of the capping upper porch roof and its framing. This roof will be supported during reconstruction of the areas below. Deteriorated area of the north-east area will be repaired with matching boards during re-roofing. The upper porches double layer of the floor's T&G flooring is failing and rotted and raised above the entry threshold as a tripping hazard. The nails and joist edged banding pulling away from the floor joists and their required structural connections. These upper porches require total reconstruction with repair and replacement with in kind detailing and with similar available materials with framing left exposed from below. The railing height and bead-board infill panels will meet requirements of current codes for the upper "open" back porches. The infill below the railing shall be bead-board T&G infill installed vertically.

The porch structures below the reconstructed upper porches will be demolished and replaced with new materials. Appropriate footing will be installed to adequately support the porch

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structures of the upper and lower porches. New 2x4 stud wall framing (north and south porch side-walls) will be installed to support the lower porch floor framing as well as being the sidewall as an enclosure (following the exposed stud (interior) detailing that is evident). The studs exterior shall be sheathed and receive bead-board siding vertically. Detailing will follow the look of porches that have been sheltered with sidewalls early-on in their existence. The east face of the lower porches are to have a railing height closure panel and an insect screened opening above. The floor of the lower porches is to be framed with 2x joists and capped with floor boards. The short stair runs are to be reconstructed with the proper rise and run, head clearances and site conditions will dictate required landings and stair direction. The stairs to the upper units do not meet current code requirements for rise and run and will be rebuilt to meet this standard. The central meeting landing will join sooner than the existing configuration. Subsequently the central stair will be a longer run and project further into the back yard. The hand-railing height will be adjusted to meet code and will be of simple 2x4 construction with a grip-able rounded cap. The railing sides will be completed with a bottom 2x4 and the area between the hand rail and bottom protected with enclosing siding.

Back (Main Entry) Doors

Existing Conditions: No signs of historic doors remain at the apartment's back doors of the building. Current doors are non-historic flat slabs or interior paneled doors retrofitted into the openings, the doors have seen extensive abuse and many modification as the primary entries from the back yard parking area. It is believed that the back doors were rail and style paneled doors with no window lights.

Work Proposed: New insulated doors (with peep holes now window lights) are to be set within the existing brick molding and door frames. These doors are basically hidden from view within the upper porches and the enclosed lower porches and are to be installed on the tertiary facade as the primary secure entries to each apartment. The doors are to be paintable fiberglass with paneled rail and style detailing, compatible with the structure.

SUBMITAL REQUIREMENTS CHECKLIST

Demolition Review COA

- Historic Property Inventory form.
- Site map showing footprint of building/structure proposed for partial or complete demolition and any other buildings/structures on the property.
- Photographs of all four facades of building/structure proposed for partial or complete demolition.
- Photographs of structural deficiencies of building/structure proposed for partial or complete demolition.
- Structural evaluation report prepared by a certified engineer or architect.
- Rehabilitation cost estimate prepared by a qualified contractor, or certified architect or engineer.
- Assessment of property's fair market value prepared by a realtor.
- Proof of advertisement for the sale or lease of the property for a period of 90 days.
- Relocation plan.
- Design Review COA for any new buildings or structures proposed for construction.

Design Review COA

- Historic Property Inventory form.
- Site map showing footprint of building/structure proposed for rehabilitation and any other buildings/structures on the property.
- Site map showing footprint of building/structure proposed for new construction.
- Elevation drawings of all facades proposed for rehabilitation, indicating window and door placement and types, other structural or stylistic elements, and construction materials.
- Elevation drawings of all four facades of new building/structure proposed for construction, indicating window and door placement and types, other structural or stylistic elements, and construction materials.
- Photographs of all four facades of building/structure proposed for rehabilitation.
- Photographs of all exterior structural/architectural elements proposed for repair or replacement rehabilitation

STAFF RECOMMENDATION

The Butte-Silver Bow Historic Preservation Officer recommends approval of the rehabilitation measures proposed in the Scope of Work with the exception of the treatment for the railing at the front porch's lower story: a single 2x4 railing at the south end of the porch only. Alternatively the installation should include 2x4 railings at the south end as well as the north end of the porch, and at the center of the porch as depicted in the 1959 photograph of the building. The center railing was a T, with one leg running north-south between the porch's two interior columns and another leg running east-west to divide the porch spaces between the two apartments. The north-south leg of this center railing is evident in the 1985 photograph as well.

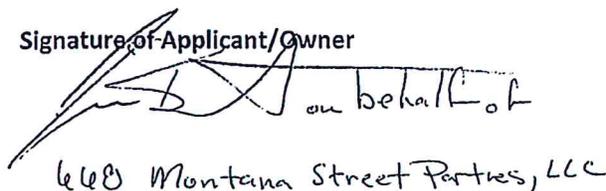
Signature of HPO



Date

7/1/2016

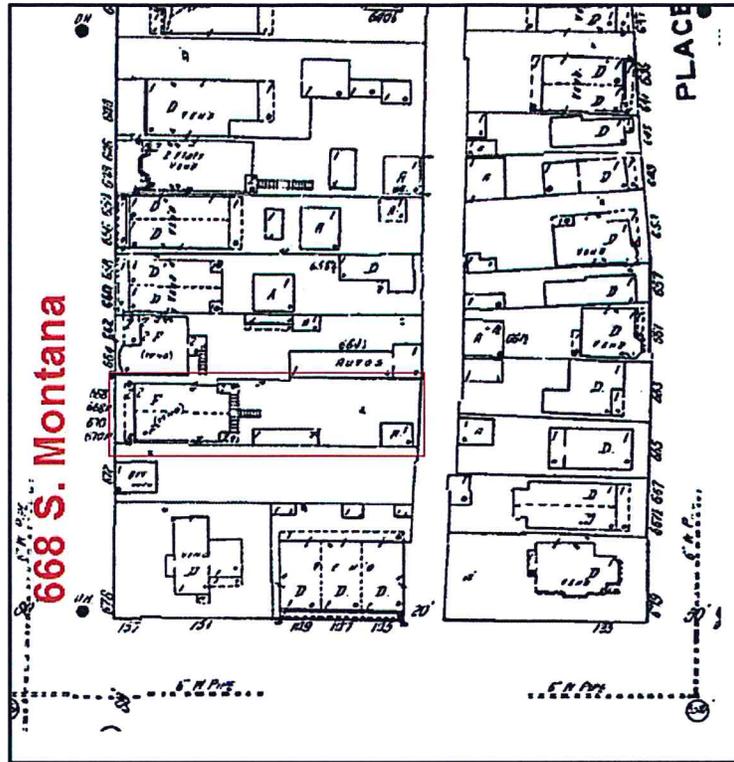
Signature of Applicant/Owner



on behalf of
660 Montana Street Parties, LLC

Date

6/30/16



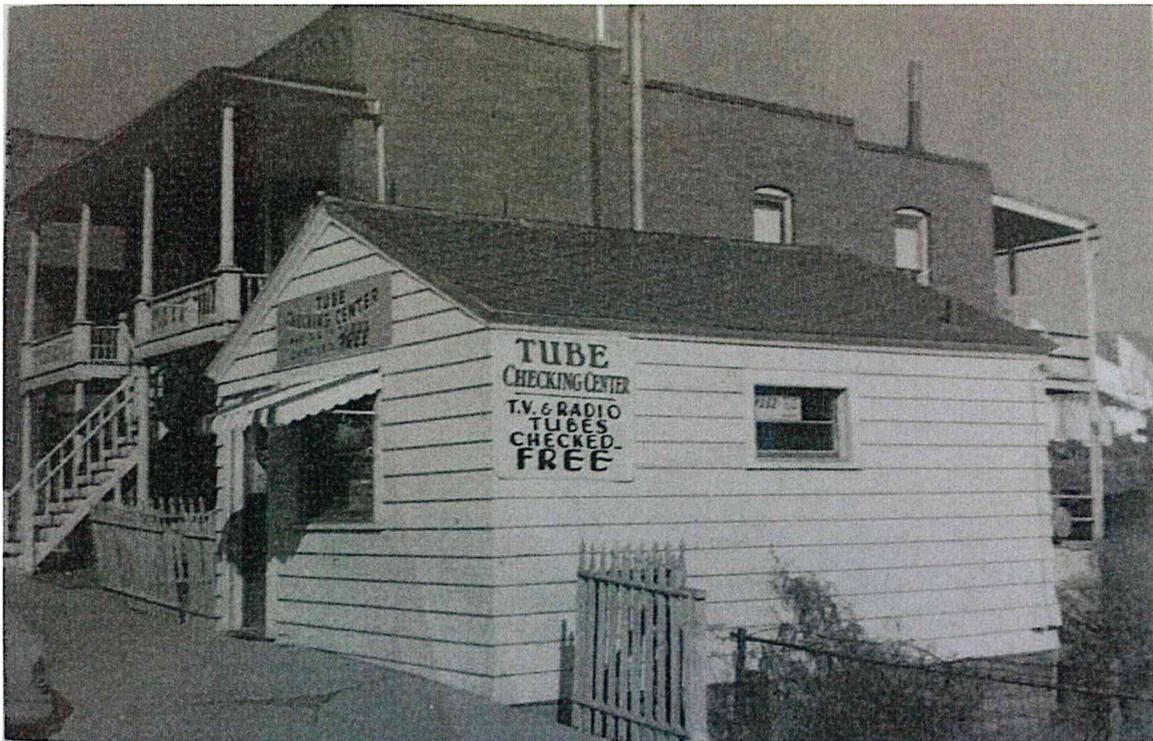
1957 Sanborn Map



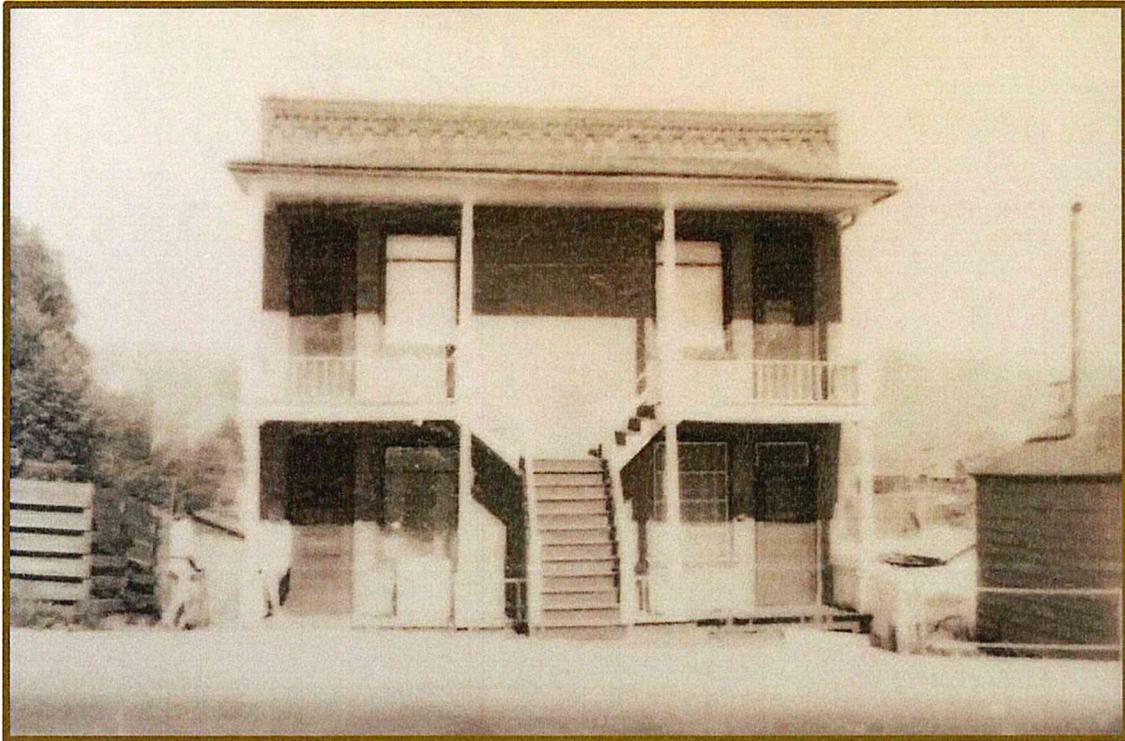
Current Site Map



1959 photograph of 668 S. Montana St. From tax assessment card, on file Butte-Silver Bow Public Archives.



1959 photograph of 672 S. Montana St. showing 668 S. Montana St to north. From tax assessment card, on file Butte-Silver Bow Public Archives



1985 photograph of 668 S. Montana St. From historic property inventory form.

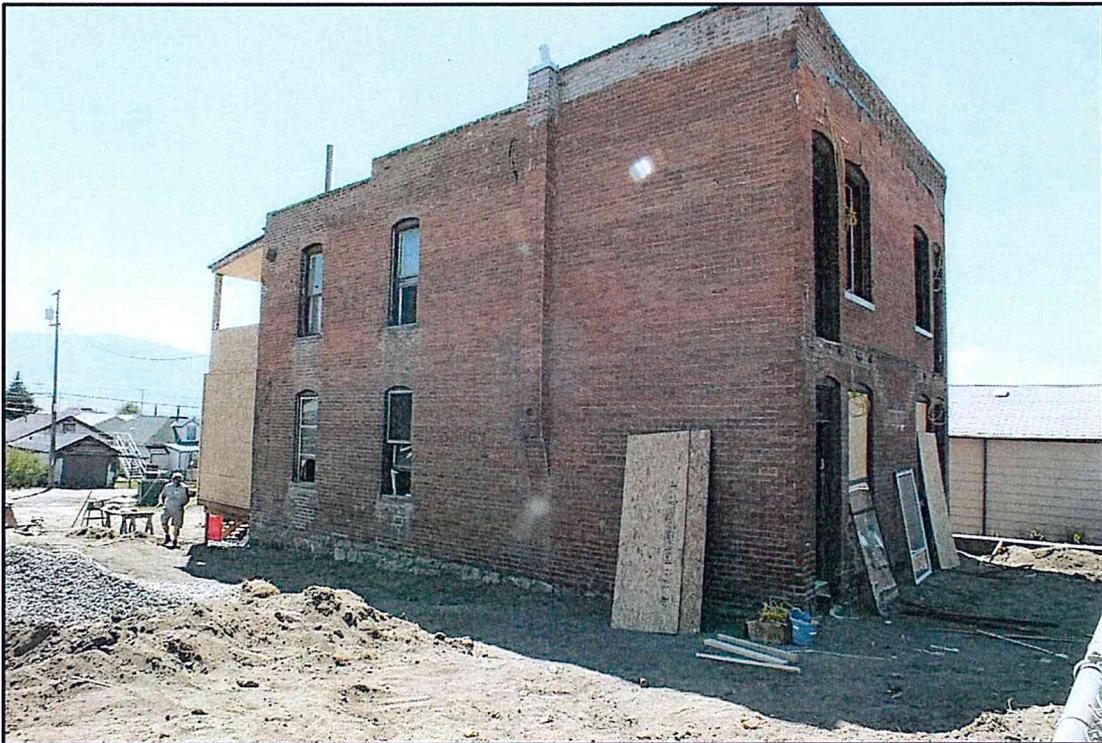


2012 photograph of 668 S. Montana St. From Google Maps.

CURRENT PHOTOGRAPHS



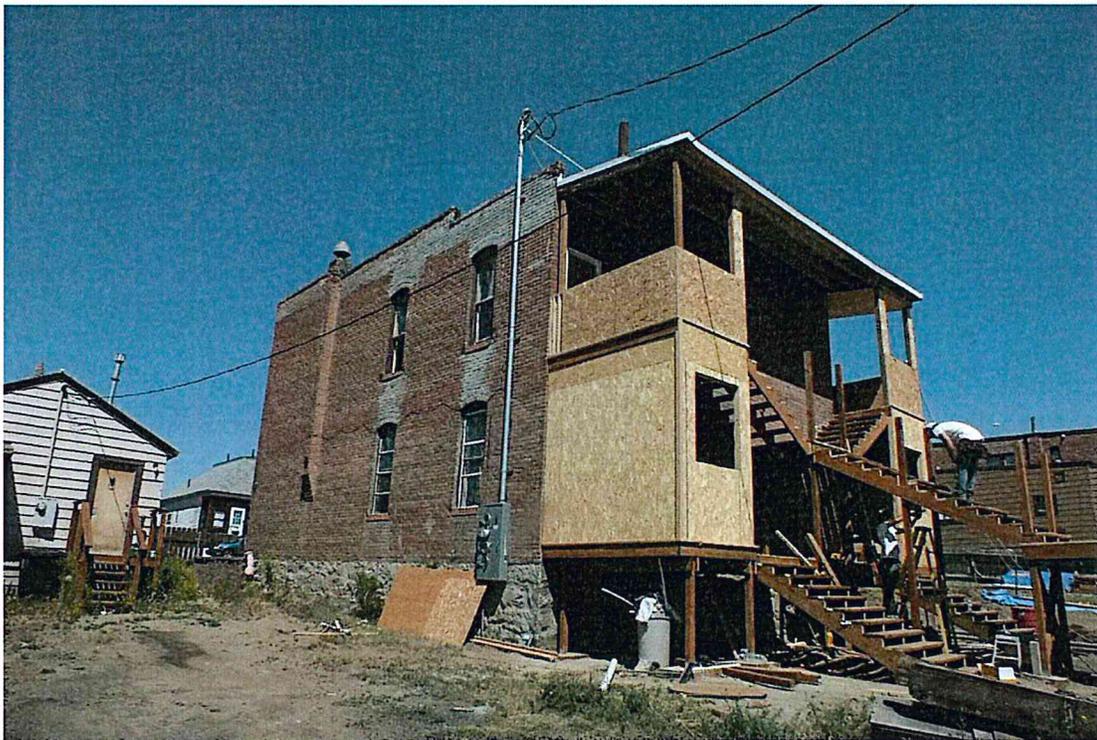
Front (west) façade. June 2016.



North façade. June 2016



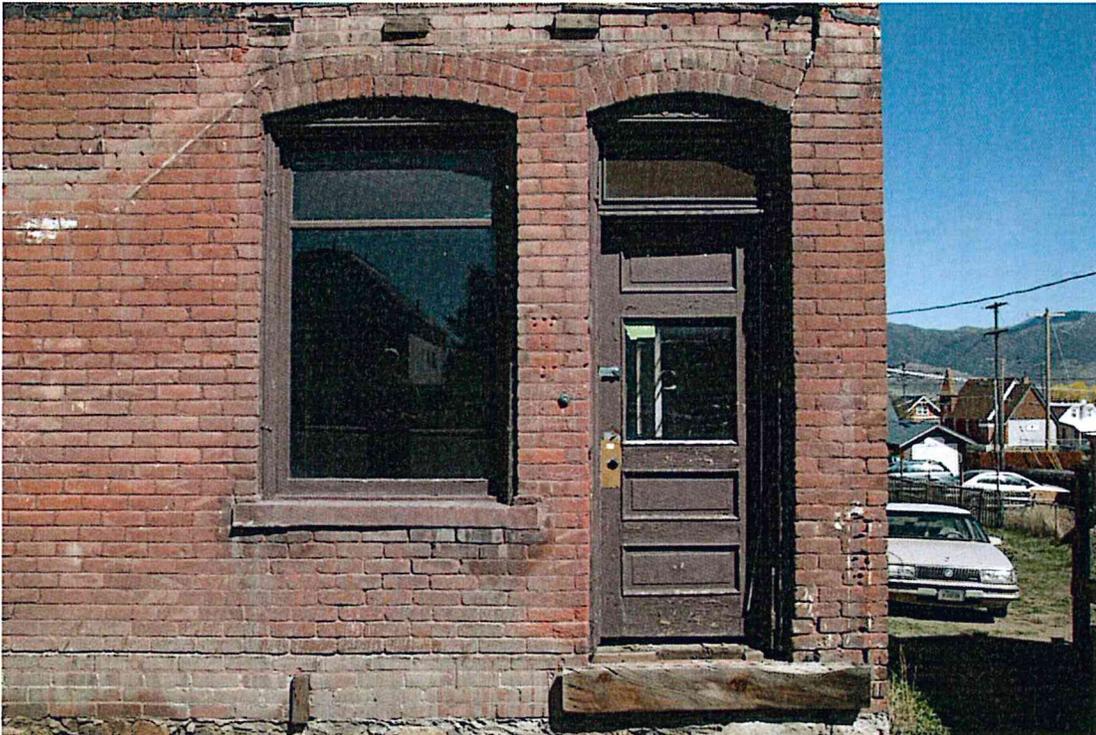
Rear (east) façade. Provided by Mark Reavis.



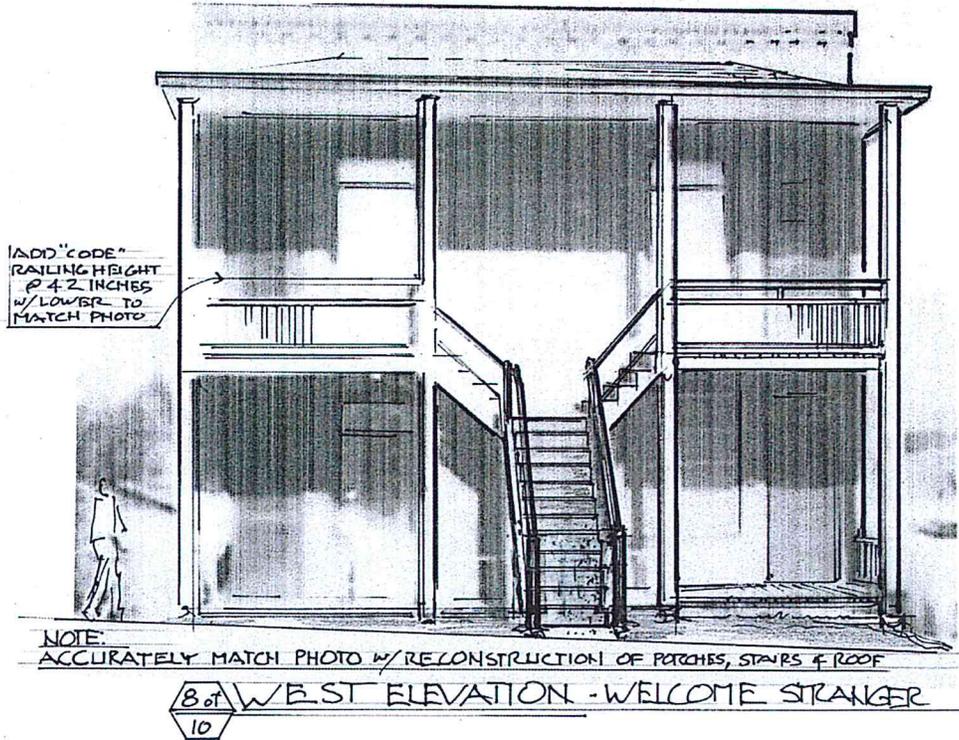
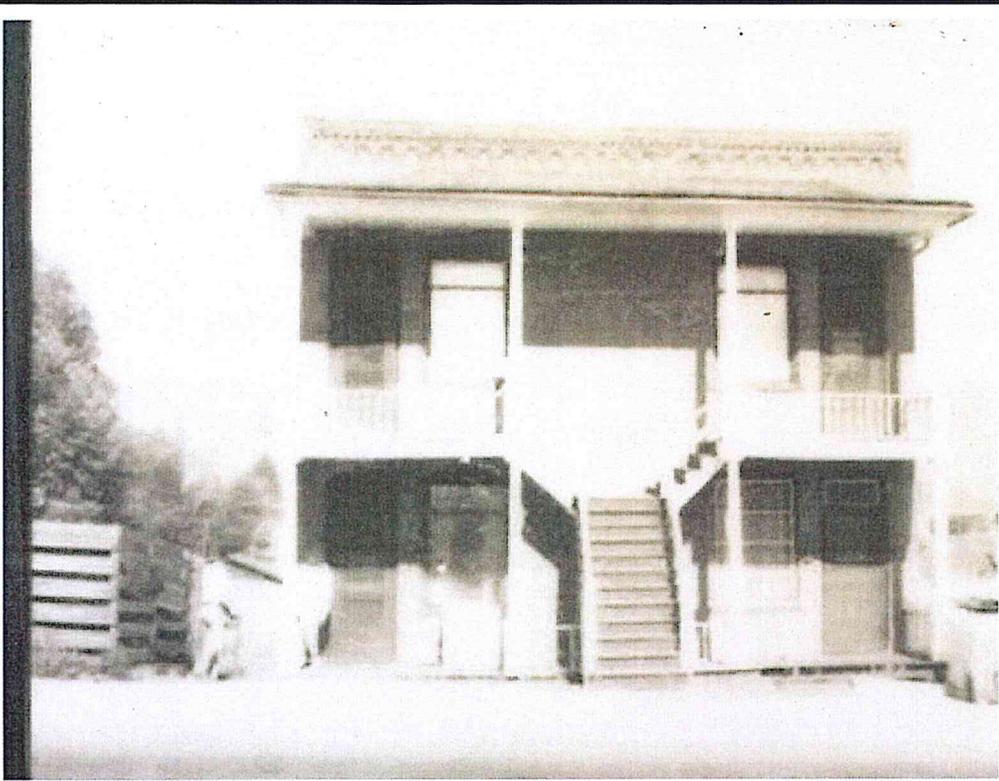
South and rear (east) facades. June 2016.



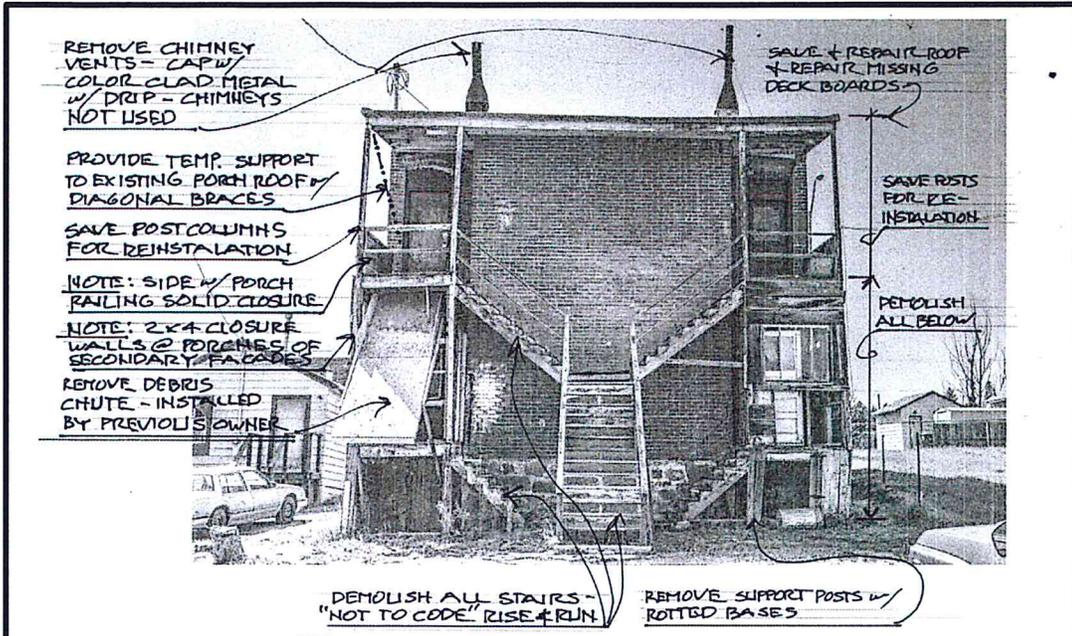
Detail of transom window at front door of lower story apartment. Provided by Mark Reavis.



Front door and window at southern apartment, lower story. Note shadow outline on brick of upper and lower story porch decks and stairs to upper story deck. Provided by Mark Reavis.



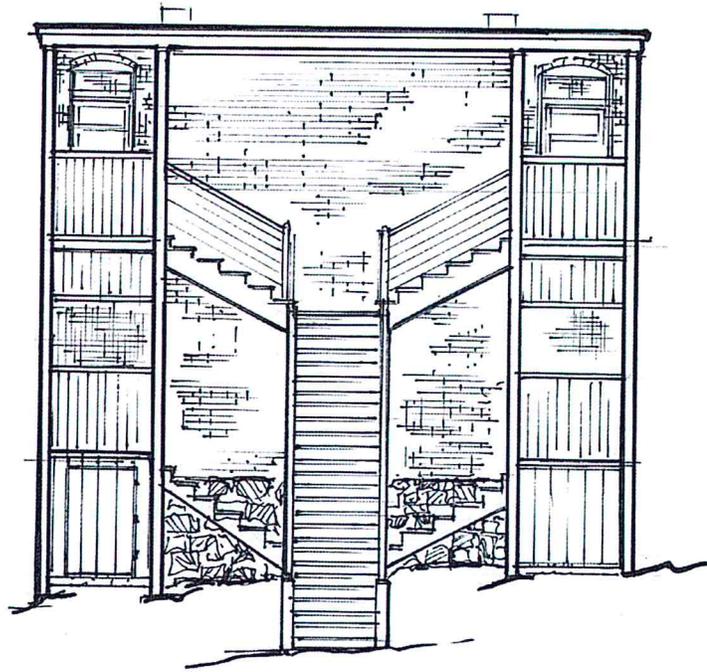
Rendering by Mark Reavis, Architect.



EAST TERTIARY FACADE - DEMOLITION

9 of 10 EAST PORCH & STAIR - "TO CODE" ACCESS

NOTE: PORCHES & STAIRS HAVE BEEN REPLACED OVER TIME ALONG w/ MANY MODIFICATIONS & CHANGES



Rendering by Mark Reavis, Architect.

MONTANA HISTORICAL AND ARCHITECTURAL INVENTORY

Site # C

Legal Description: Welcome Stranger Block 4/SPor-6

Address: 668-670 A South Montana

Ownership: Name: Samuel Bowman

private public address: 668 South Montana/Same

CONTACT
PHOTO

Roll # K9 Frame # 21

Location map or building plan with arrow north.

Historic Name: _____
 Common Name: _____
 Date of Construction: pre 1916 post 1900 estimated documented
 Architect: _____
 Builder: _____
 Original Owner: _____
 Original Use: _____
 Present Use: _____
RESEARCH SOURCES: Note all records consulted to determine dates of construction, original owners, builders, uses, etc.
 Title Search: _____ Tax Records: _____
 Bldg. Permit: A3875/A5456 Census Records: _____
 Sewer/Water: _____ Sanborn Maps: 1900-1916
 Directories: X Newspapers: _____

BIBLIOGRAPHY:

Oct. 2, 1917 - repair roof and burns Charles L. Worth

PHYSICAL DESCRIPTION: Describe present appearance of structure/site, then contrast and compare that with its original appearance, noting additions, alterations, and changes in materials. Discuss significant architectural features.

This two story rectangular flat residence with a non visible flat with stepped parapet roof has an ashlar cut stone foundation and is of frame construction with brick veneer with decorative corbelling siding. Windows are double hung 1/1; fixed with transom. There are 4 chimneys; 2 exterior, 2 interior with stovepipes.

The doors have transoms and the windows have open brick arches with wood frames. There is a central wooden stairway with a hip roof asphalt shingle double porch with wooden posts on piers with spindle fencing above. The partly enclosed back porches have a rolled asphalt shed roof. The one outbuilding has a shed roof, novelty siding and fixed windows.

HISTORICAL INFORMATION: Describe the persons, important events, and/or historical patterns associated with the structure/site and surrounding area.

In 1915, Charles L. Worth was part owner of Worth Bros. Cafe at 71 E. Park. He resided at 938 Iowa Avenue.

Footnote Sources:

INTEGRITY: Assess the degree to which the structure/site, and surrounding area accurately convey the historical associations of the property.

This two story walk-up maintains historical integrity of design, materials, workmanship, location, setting, feeling and association.

HISTORICAL and/or ARCHITECTURAL SIGNIFICANCE: Justify how the persons, important events, or historical patterns associated with structure/site lend the property significance and/or describe the ways in which the structure embodies the distinctive characteristics of a particular period, building type, or style.

This residence is a contributing element of the Butte National Landmark District because it is an excellent example of a 2 story walk-up. These walk-ups appear primarily in the district's newer portions which grew at a time when multiple family housing was in demand. Exceptions include structures built in the 1880's or 1890's and later transformed to resemble the newer style. Although still exhibiting features of Victorian vernacular ornamentation, these buildings favored symmetrical fenestration, orderly exterior porches with plain balustrades, corbelled parapets and frequently a decorative frieze.

FORM PREPARED BY:	GEOGRAPHICAL INFORMATION:
Name: <u>Judith Kinney</u>	Acreage: _____
Address: _____	USGS Quad: _____
Date: <u>1985</u>	UTM's: _____



U.S. General Services Administration

June 21, 2016

Peter Brown, Historic Architecture Specialist
Historian, Section 106 Review & Compliance Coordinator
Montana State Historic Preservation Office
1301 East Lockey Avenue
Helena, MT 59620

Re: *Restoration of glass block "ceiling lights"*

The U.S. General Services Administration (GSA) has the need to undertake work in the historic Mike Mansfield Federal Office Building and U.S. Courthouse (FB-CT), located at 400 North Main Street in Butte, Montana. The building is listed on the National Register of Historic Places and is a contributing building to the Butte-Anaconda National Historic Landmark District (NRID# 66000438 / 79001426).

This project, as outlined in the enclosed scope of work is to restore two of the original glass block "ceiling lights" that are located between the first floor ceiling and the 2nd floor Courtroom corridor. In the original 1902 architectural plans, the three "ceiling lights" are noted on the first and second floors in what was originally the Post Office workroom. The "ceiling lights" were designed to provide natural daylight into the workroom below. They are again noted in the 1931 drawings for the building addition. See the enclosed 1902 and 1931 plans noting the project area.

The "ceiling lights" are constructed of 4" square glass blocks, each block surrounded by leaded came with soldered joints. From the underside, the glass blocks lie on a structural bed of riveted metal support systems. Reference the photos in the scope of work. Over the years, all three "ceiling lights" were at one time covered with carpet tile in the corridor area. Several years ago, the most southern light was restored and revealed, with the remaining two (center and north end corridor) still covered with carpet tile. This project will remove the existing carpet tile and mastic over the remaining two "ceiling lights", clean and restore the glass block and leaded came to reveal the original "ceiling light". The lights will be illuminated from the underside of the area so as to highlight the original lights at the 2nd floor corridor. The underside of the lights at the first floor level will remain covered by the existing drop ceiling and will not be visible from the first floor level.

The complete scope of work and existing photographs of the above mentioned area are enclosed for your review. I have reviewed these items and have determined that this project will have no adverse effect on the historic characteristics that cause this building to be listed on the National Register of Historic Places. Please let me know within 30 days if you concur with my determination. If I do not hear from you within the 30-day time frame allowed, we will proceed as described. Please call me at (303) 236.4627 or christy.fockler@gsa.gov if you have any comments, questions, or concerns regarding this project.

Sincerely,

CHRISTY FOCKLER

Historic Preservation Specialist
Rocky Mountain Region 8
U.S. General Services Administration
Design & Construction Service Center (8PC)
One DFC Building 41 PO Box 25546
Denver, CO 80225
303.236.4627 (o) 303.815.7798 (c)
christy.fockler@gsa.gov

cc: Mary McCormick, Butte-Silver Bow Historic Preservation Officer
Tom Keohan, Heritage Partnership Program, National Park Service Intermountain Region

Enclosures





**SCOPE OF WORK
BUTTE COURTHOUSE GLASS BLOCK FLOORS**

3-28-16

Project Location

- Mike Mansfield Federal Building and U.S. Courthouse (FB-CH) 400 N Main Butte, MT 59701

Project Points of Contact

- Shawna Horvath, Contracting Officer
Phone: 406-441-1262 Fax: 406-441-1269
- Dan Hill, Project Manager
Phone: 406-441-1263 Cell: 406-431-3388

Project Duration

- Once NOTICE TO PROCEED OR AWARD has been issued, the contractor has 60 calendar days to complete the project. Extensions will be granted for unforeseen conditions and other factors outside of the contractor's control.

Project Scope

- The second floor corridor, located on the east side of the historic Courtroom of the Mansfield FB-CH in Butte, MT has three (3) areas located in the corridor floor that are part of the original 1905 construction. The "floor panels" were originally glass block panels that were visible in the corridor. Two of the three areas are currently covered with carpeting. One area is exposed with lighting below to illuminate the glass block feature. The single exposed area is lit from below between the first floor drop ceiling and underside of the glass block area in the second floor flooring area. The intent is to restore all three areas with lighting to illuminate the "floor panels" from below.
- The original 1905 drawings note: "Glass block specified in bronze frames." It is assumed the original glass block and bronze frame system exists at the two non-exposed locations. No investigative studies have been completed to confirm the status of the two non-exposed "floor panels".
- The contractor shall remove approximately 195 SQFT of carpeting and install a border around the edge. The glass block shall be cleaned to match the existing exposed. Do not use power tools or chemicals that may be destructive to the glass blocks or bronze frames to remove the flooring adhesive. Reference the one "floor panel" that is currently exposed in the corridor.
- The contractor shall remove the existing flood light assembly under the existing exposed glass block.
- The contractor shall install four (4) LED Flood lights above the first floor drop ceiling directly under the second floor glass blocks shining light upward to accent the glass blocks. The lights shall be two (2) 20W green and two (2) 10W green LED flood lights in a manufactured cast aluminum frame with a reflector and lens assembly. The 20W lights shall be mounted under the 2 larger glass block areas (1 each); the currently exposed glass block and the matching size on the other end of the corridor. The 10W lights shall be mounted under the smaller glass block in the middle; one on each side of the wall separating the underside of the glass blocks. The lighting enclosures shall be mounted in such a manner to be secure and independent of the drop ceiling structure. The lights shall be energized from the lighting circuits in the drop ceiling. The lights shall be unswitched. All cable shall be #12 AWG copper and in metallic conduit. Except for the wattage, the lights shall be identical and meet the following additional requirements:
 - Average lamp life of 50,000 hours or greater
 - Reflective beam angle of 90 degrees or greater
 - 120v, direct wired
- Contractor shall be responsible for obtaining all necessary local, state, and federal permits and licenses and payment of related fees.
- All work shall comply with codes and standards applicable to each type of work through the course of this project. Contractor shall also comply with the requirements of GSA BuildGreen Standards, and PBS P-100.

Other Special Instructions

- Since this project is within a historic property, all work must meet the approval of the General Services Administration Historic Preservation Officer/Specialist.
- The mastic in all the floor carpet tiles is assumed to have asbestos present. Appropriate practices must be used when the removal process occurs.

Historic Requirements:

The Mike Mansfield Federal Building and United States Courthouse (FB-CT) in Butte, Montana is a Historic Building and is listed on the National Register of Historic Places (NRID# 79001426 11/15/1979). The building is also a contributing building to the Butte-Anaconda National Historic Landmark District (NRLD# 66000438 10/15/1966). As such, projects in the building are required to follow the guidelines set forth in the following publications:

- ADM 1020.2 GSA Procedures for Historic Properties
- The National Historic Preservation Act of 1966, as amended and Executive Order 11593.
- The Secretary of the Interior's Standards and Illustrated Guidelines for Rehabilitating Historic Buildings, Revised 1992 (36 CFR 67).
- GSA Technical Preservation Guidelines: <http://www.gsa.gov/portal/content/101402>
- GSA Historic Preservation Technical Procedures: <http://www.gsa.gov/portal/hp/hpc/category/100371/hostUri/portal>
- National Park Service Preservation Briefs: <http://www.nps.gov/tps/how-to-preserve/briefs.htm>

Any work that could alter the building's historic fabric, character, or appearance, both on the interior and exterior must first be approved by the GSA's Historic Preservation Officer/Historic Preservation Specialist and the [State name] State Historic Preservation Office (SHPO) before any actions are to take place.

No construction work can begin until Section 106 of the National Historic Preservation Act (NHPA) is complete.

Environmental Issues

- There are environmental issues at the building site. Asbestos report is available onsite.

Environmental Procedures: Instructions: Review the Environmental Procedures Matrix that can be found on the ARC or on the DFC Project Management Google Site. Review all the "Tasks" that apply to your project. Every "Procedure" under that "Task" applies and should be retained in the list below. Delete all "Procedures" in the list below that are not highlighted on the matrix. The Contractor shall comply with the Region 8 GSA Sustainability and Environmental Management System (SEMS) procedures that can be found at www.r8sems.com. The following is a list of the categories of environmental procedures inclusive of subcategories under Repair and Alterations (R&A) – Construction Contracts that apply to the contract or purchase order requirements:

AIR EMISSIONS

- Asbestos Management**

ENERGY CONSERVATION

- Metering (Energy and Water)**
- Sustainability and HPGB**

SITE SELECTION AND PROPERTY EVALUATION

- Historic Preservation Section 106**
- NEPA**

WASTE REDUCTION, RECYCLING, AND GREEN PURCHASING

- Construction and Demo Waste Management**
- Facility Solid Waste Management**
- Green Purchasing**
- Recycling and Universal Waste**

Submittals

- All products specified are to establish a standard of quality. Submittal response by the government shall be 14 calendar days or less. If product samples are not submitted in a timely fashion, any delays caused by the contractor will not warrant a time extension

Equipment

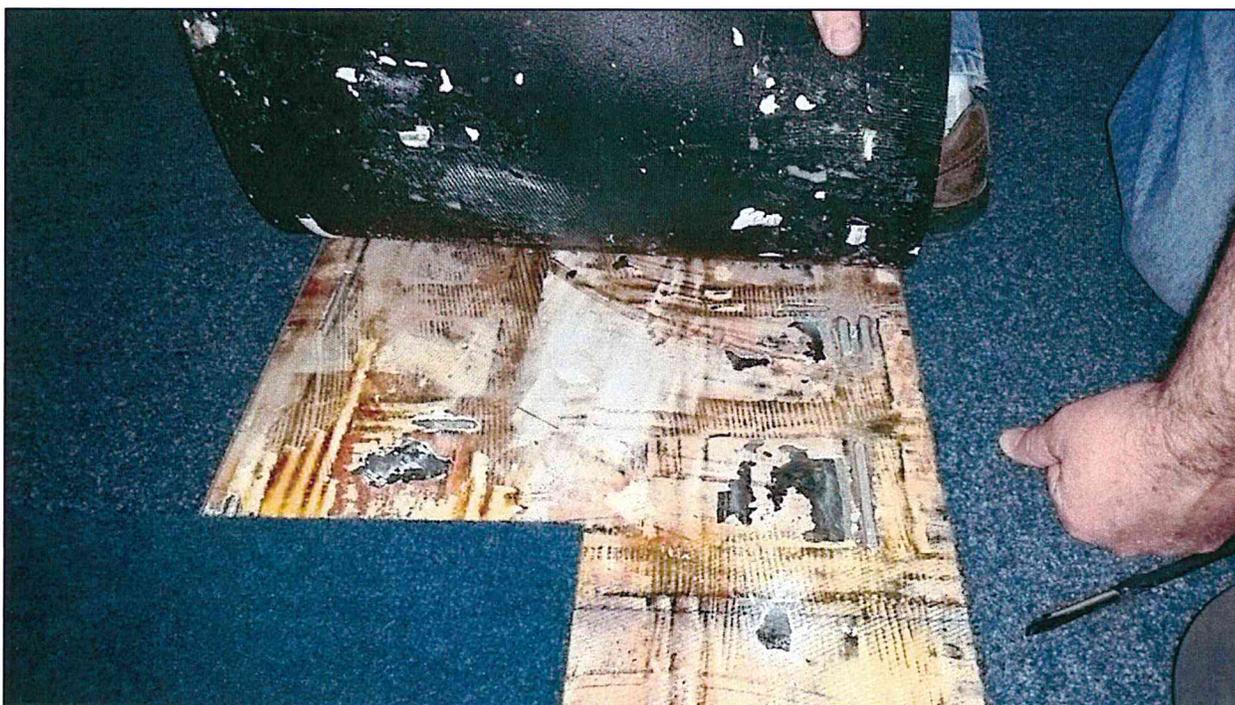
- The contractor shall provide all equipment associated with the entire project, operate in a safe manner and adhere to all OSHA and GSA standards.



View from under exposed "floor panel" with illuminated lighting.



View looking up at non-exposed "floor panel" from first floor space between drop ceiling and second floor.



Carpet tile over historic glass block "floor panel". Carpet and mastic to be removed.

Equipment and Material Storage

- The contractor shall provide and store all equipment, the materials specified above, and any other materials required to complete the project. The materials are required to be kept clean and dry throughout the duration of the project.

Material Removal

- The contractor shall provide dumpsters as necessary to handle any demolition or excess materials from the project. The location of these dumpsters will need to be coordinated with the tenant and GSA at the start of the project. The contractor shall be responsible for the transportation of the waste material to a landfill as well as the disposal costs. The contractor shall not stockpile demolition debris for more than 48 hours. See also "Waste Management" and "Disposal" for further requirements.

Proposal Pricing

- When submitting a proposal, provide a cost breakdown for each task into the following categories: Materials, Equipment, and Labor.

Contractor Use of the Premises

- During the period of the project, the contractor will have access to the site only during business hours of **Monday thru Friday 8AM-5PM**. No on-site work shall be performed outside these hours or on holidays unless otherwise directed by the Contracting Officer. The contractor will need to coordinate with the government Contracting Officer to arrange access to the Facility. The contractor shall make every effort to cause a minimum of damage to parking lots, any other paved areas, any items that need to be moved during the course of the project, and any areas not included in this scope of work. Any damage caused will be repaired at the contractor's expense.

Progress Meetings

- Progress meetings are not required for this project. The project manager and building team representative shall make daily inspections of the work progress.

Sanitary Facilities

- Contractors may use the sanitary facilities within the building.

Electricity, Water, and Gas

- The GSA will pay for electricity, water, and gas during the course of this project. The contractor is responsible for making connections to the existing systems. Temporary electrical work shall meet the requirements of NFPA 70-1996 (NEC), Article 305. When temporary connections are removed, restore existing utility services to their original condition.

Telephone

- Telephone service is not available on-site for the Contractor's use.

Motorized Equipment

- No motorized equipment, hand-held or wheeled, shall be used inside any building.

Utility Outages and Locates

- No utility outages will be approved without the written consent and approval of the project manager. Requests for utility outages (electrical, telephone, gas, water, chilled water, hot water, fire sprinkler system, and fire detection system) must be received 3 calendar days before the outage date.
- The Contractor shall be responsible for locating all utility lines shown on available drawings and other lines subsequently discovered by the utility locates performed by the contractor. If utilities are to remain in place, use caution during earthwork operations to avoid impact. The contractor shall be responsible for any damage to the located utilities if found in the located position, or as indicated on the available drawings.

Protection of Public

- The building site will continue to be used by tenants. The contractor shall fence, barricade, or otherwise block off the immediate work area to prevent unauthorized entry. The contractor shall illuminate barricades and obstructions at night and maintain safe building access and egress for tenants.

Housekeeping

- The project site shall be kept in a neat, orderly, and safe condition at all times. The contractor shall provide enough containers for collecting construction debris and construction materials to be recycled. The contractor shall wet down dry materials and rubbish to prevent blowing dust and keep volatile wastes in covered containers.

Disposal

- Unless otherwise specified, all removed material becomes the property of the contractor and shall be disposed of outside Government facilities and land. The contractor shall dispose of refuse at least monthly, in a legal manner, at a public or private dumping area. Document and provide to the Contracting Officer the quantity of materials disposed of through recycling and through sanitary landfills (cy or tons as appropriate). See also "Waste Management".

Waste Management

- The GSA has established that this project shall generate the least amount of waste possible. The contractor shall employ processes which ensure the generation of as little waste as possible and avoid the generation of waste due to over-packaging, error, poor planning/layout, breakage, contamination, damage from weather, etc. Of the inevitable waste that is generated, as many of the waste materials as economically feasible shall be reused, salvaged, or recycled. Waste disposal to a landfill shall be minimized to the greatest extent possible. See also "Disposal" for record keeping requirements.

Transportation and Deliveries

- The contractor shall arrange deliveries of materials in accordance with construction schedules and coordinate with the COR to avoid conflict with other tenants and other work conditions at the site. The contractor MAY use the loading dock near the construction site.

Cleaning

- Before scheduling the final inspection, the Contractor shall accomplish six items: (1) Remove all tools, equipment, surplus material, and rubbish; (2) Restore or refinish, to original condition, surfaces that are damaged due to the work of this contract; (3) Remove grease, dirt, stains, foreign materials, and labels from finished surfaces; (4) Thoroughly clean building interiors; (5) Pick up all construction debris from the site; and (6) Before final inspection, thoroughly clean project site ready for use.

Painting/Staining

- All painting, staining, or other activity which may cause noxious or undesirable fumes must be performed after normal working hours. The use of paint or stain that does not generate odors is preferred and may be required if the space will be occupied the following day.

Project Record Drawings

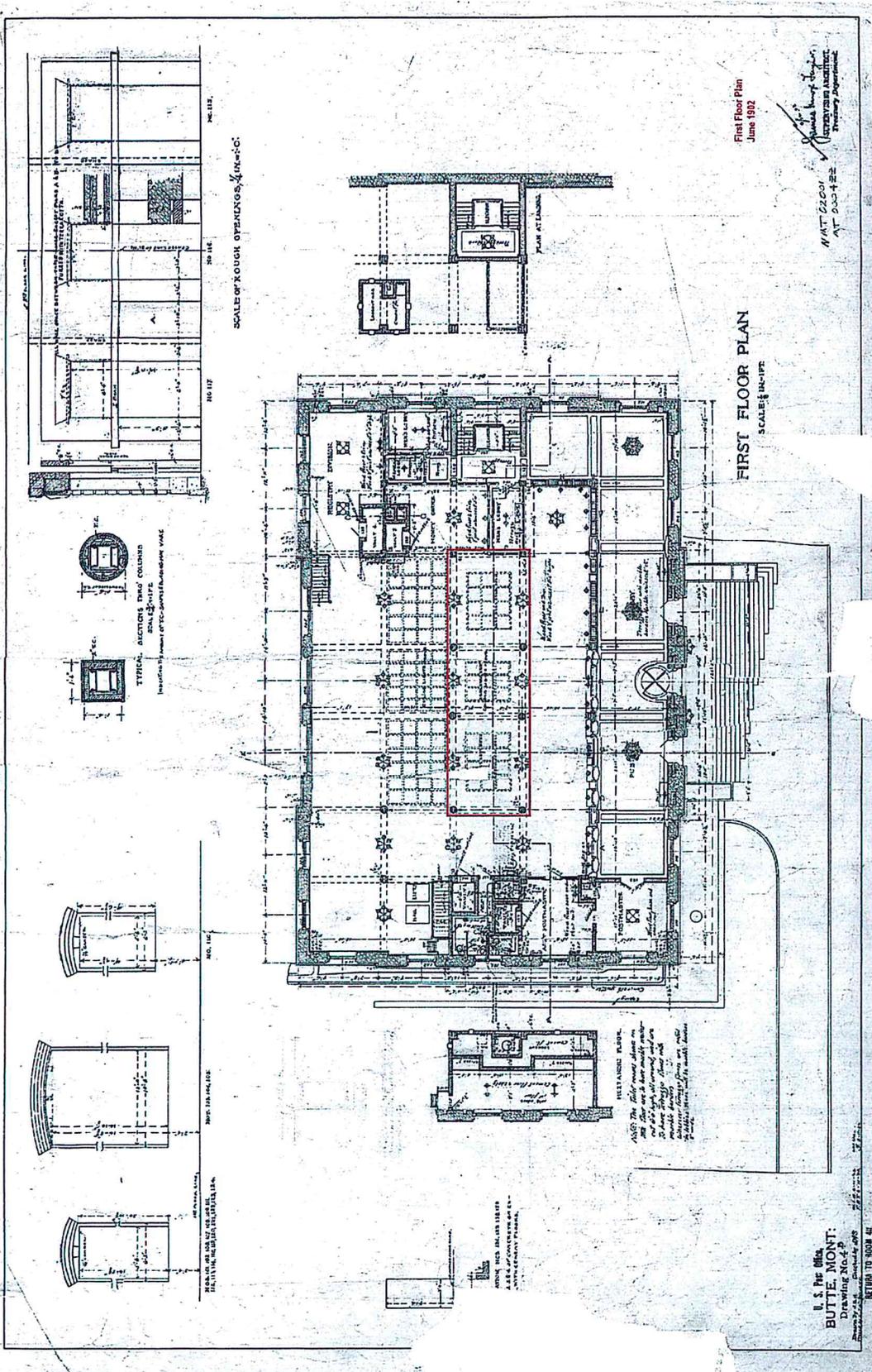
- Maintain one complete full-size set of contract drawings and one full-size set of vendor supplied drawings. Clearly mark changes, deletions, and additions using GSA CAD Standards to show actual construction conditions. Show additions in red, deletions in green, and special instructions in blue print. Provide to Dan Hill.

Substantial Completion and Final Inspection

- When project, or designated portion of project is complete, request a final inspection. Upon receipt of request that project is substantially complete, the Contracting Officer will proceed with the inspection within ten calendar days of receipt of request or will advise the contractor of items that prevent the project from being designated substantially complete.



Photos of exposed "floor panel" in second floor corridor. Courtroom entrance is to the left.



First Floor Plan
June 1932

FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

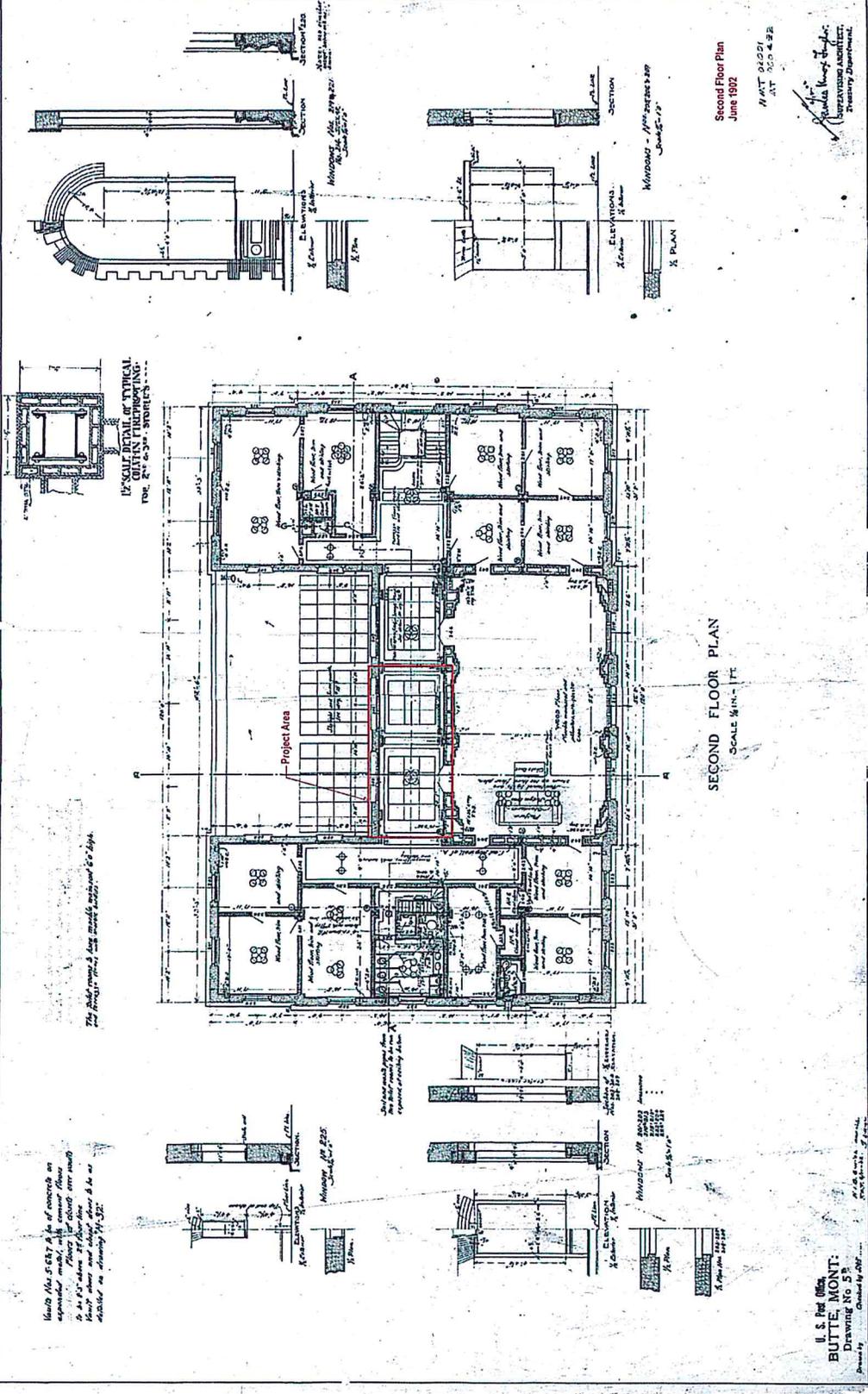
U.S. GEOLOGICAL SURVEY
GEOLOGICAL ENGINEERING DIVISION
BUTTE, MONT.
JUN 1932

TYPICAL SECTION OF PINK GRANITE COLUMN
SCALE 1/4" = 1'-0"

REMARKS:
NOTE: The floor shown above the
main floor is a basement floor
and is not shown in this plan.
It is shown in the plan only
to indicate its location and
to show its relation to the
main floor.

U. S. GEOLOGICAL SURVEY
BUTTE, MONT.
Drawing No. 4, P

RETURN TO ROOM 42



Second Floor Plan
June 1922

N.M.T. 02221
AT 000 4 52

Walter H. King
Architect
Treasury Department

SECOND FLOOR PLAN
SCALE 1/8" = 1'-0"

Vault No. 5687 A is of concrete on
approximate masonry, and concrete floor
is 4" x 4" where it intersects
vault where steel columns are to be
located on ceiling of 5'.

The vaults are to be made waterproof.

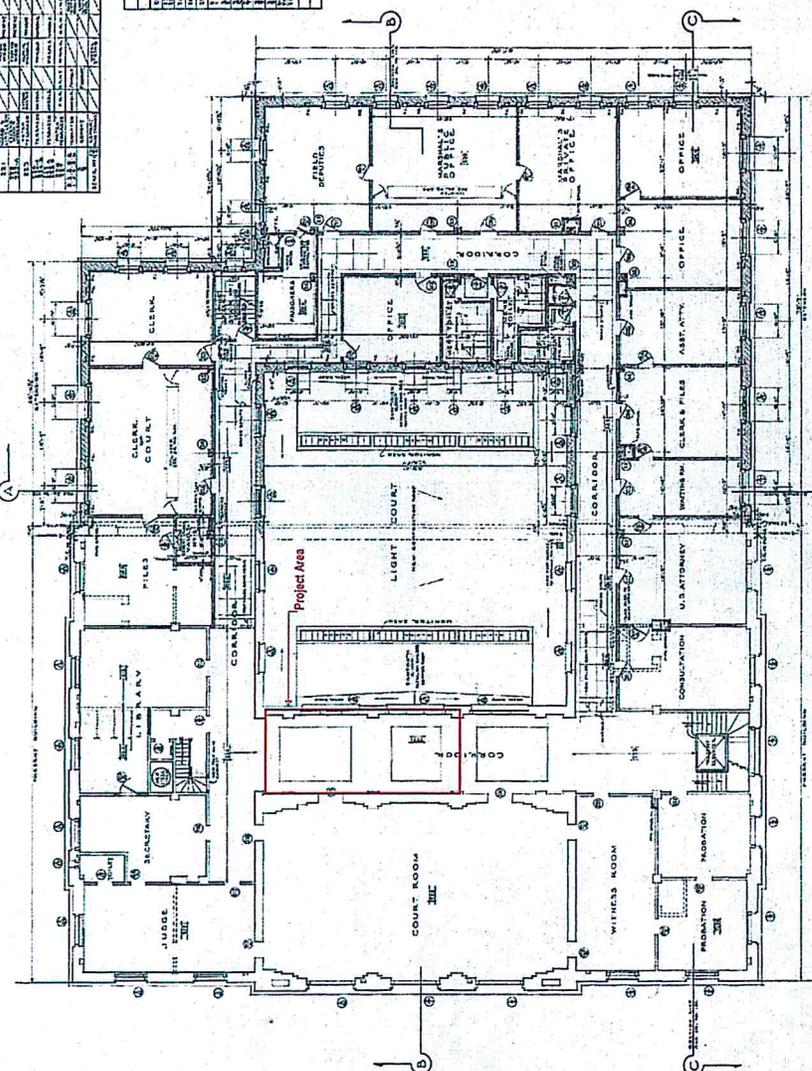
U. S. Post Office,
BUTTE, MONT.
Drawing No. 57
Checked by N.P.

SCHEDULE OF INTERIOR FINISHES

NO.	DESCRIPTION	FINISH	QTY.	UNIT	PRICE	TOTAL
1	PLASTER	...	...	...	...	...
2	PAINT	...	...	...	...	...
3	WOOD	...	...	...	...	...
4	GLASS	...	...	...	...	...
5	IRON	...	...	...	...	...
6	BRASS	...	...	...	...	...
7	CERAMIC	...	...	...	...	...
8	TEXTILE	...	...	...	...	...
9	LEATHER	...	...	...	...	...
10	STONE	...	...	...	...	...
11	MARBLE	...	...	...	...	...
12	CONCRETE	...	...	...	...	...
13	CEILING	...	...	...	...	...
14	FLOORING	...	...	...	...	...
15	WALL	...	...	...	...	...
16	DOOR	...	...	...	...	...
17	WINDOW	...	...	...	...	...
18	STAIR	...	...	...	...	...
19	ELEVATOR	...	...	...	...	...
20	MECHANICAL	...	...	...	...	...
21	ELECTRICAL	...	...	...	...	...
22	PLUMBING	...	...	...	...	...
23	MECHANICAL	...	...	...	...	...
24	ELECTRICAL	...	...	...	...	...
25	PLUMBING
26	MECHANICAL
27	ELECTRICAL
28	PLUMBING
29	MECHANICAL
30	ELECTRICAL
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41	MECHANICAL
42	ELECTRICAL
43	PLUMBING
44	MECHANICAL
45	ELECTRICAL
46	PLUMBING
47	MECHANICAL	...	...	...	...	...
48	ELECTRICAL	...	...	...	...	...
49	PLUMBING	...	...	...	...	...
50	MECHANICAL

DOOR SCHEDULE

NO.	DESCRIPTION	FINISH	QTY.	UNIT	PRICE	TOTAL
1
2
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Second Floor Plan
August 1931
PAT. 3,1004
PAT. 2,0422

U.S. DEPARTMENT OF JUSTICE
TREASURY DEPARTMENT
ARCHITECTURAL DIVISION
WASHINGTON, D.C.

No. 4

RETURN TO ROOM 411

SECOND FLOOR PLAN

U.S. DEPARTMENT OF JUSTICE
TREASURY DEPARTMENT
ARCHITECTURAL DIVISION
WASHINGTON, D.C.



Sound Science. Creative Solutions.

Denver Office
295 Interlocken Boulevard, Suite 300
Broomfield, Colorado 80021
Tel 303.487.1183 Fax 303.487.1245
www.swca.com

May 26, 2016

Kate Pirot
Bureau Veritas North America, Inc.
165 South Union Boulevard, Suite 310
Lakewood, Colorado 80228

RE: Cultural Resource Evaluation and Visual Effects Analysis for the Proposed 'MT6 Continental' Cellular Telecommunications Project, Elizabeth Warren Avenue, Butte, Silver Bow County, Montana

Dear Ms. Pirot:

In January 2016, Bureau Veritas North America, Inc., requested that SWCA Environmental Consultants (SWCA) conduct a cultural resource inventory for the proposed 'MT6 Continental' cellular telecommunications project. The undertaking involves the installation of a stealth telecommunications structure (in the form of a pine tree) and outdoor equipment cabinet, and acquisition of an access/utility easement on the north side of Elizabeth Warren Avenue in the southeast quarter of the southwest quarter of Section 29, Township (T) 3 North (N), Range (R) 7 West (W), in Butte, Silver Bow County, Montana (Figure 1). The proposed undertaking involves the construction of a 60-foot-tall monopine with a 10-foot-tall lightning rod (70-foot overall height) and installation of a pre-fabricated equipment cabinet. The project is in the north area of the parcel in which the Butte Country Club golf course is located. The area is surrounded by recreation, residential, and commercial properties.

The purpose of these investigations is to provide Bureau Veritas North America, Inc., with information required by the Federal Communications Commission (FCC) to comply with Section 106 of the amended National Historic Preservation Act, as outlined in the FCC nationwide Programmatic Agreement (PA) for the review of effects to historic properties (FCC 04-222). The area of potential effects (APE) for direct effects as defined by the guidelines set forth in the PA consists of the area that would be directly impacted as a result of the facility construction. Specifically, the APE for direct effects includes a 42- by 30-foot fenced enclosure that will contain the 70-foot-tall monopine and the 10- by 16-foot outdoor equipment platform (Figure 2). A visual planting screen, consisting of 25 green columnar junipers, will be planted around the perimeter of the lease area. The APE for direct effects also includes a 12-foot-wide by approximately 1,357-foot-long access road within a 20-foot-wide access and utility easement, and a 20- by 40-foot turnaround area on the south side of the lease area that will be covered with gravel. The PA defines the area of visual effects as 0.5 mile from the tower location for telecommunications towers less than 200 feet in height. The proposed stealth structure will be a maximum of 70 feet tall; therefore, the APE for visual effects extends 0.5 mile from the proposed tower location.

This letter report summarizes the work conducted by SWCA, including the pertinent results of the file search, field investigation of the APE for direct effects and APE for visual effects, and an evaluation of the potential impacts of the proposed project on historic properties. The field investigation was conducted on April 11, 2016, by SWCA cultural resource specialist Cyrena Udem.

FILE SEARCH

SWCA conducted a file search through the Montana State Historic Preservation Office (SHPO) on February 4, 2016 (SHPO record search number 2016020401). Following Montana SHPO guidelines, the file search included all sections within a 1-mile radius of the proposed stealth structure location to assist in the visual effects evaluation required for this project. According to the file search results, one cultural resource project has been conducted in the same section (Section 29) as the proposed undertaking. The previous project was for a cultural resource inventory of Harrison Avenue. The extent of this previous survey is not indicated through the returned record search results; however, Harrison Avenue is 0.38 mile to the west of the current project area. Therefore, it is likely that the previous survey did not include direct inspection of the current project area. Eighteen additional surveys have been conducted within the surrounding sections. These cultural resource surveys were for the Bert Mooney Airport, fiber optic lines, cellular communication towers, road improvements, a pipeline, and other miscellaneous undertakings.

According to the file search results, 40 previously recorded cultural resources are within 1 mile of the project area. As summarized in Table 1, these resources are mostly commercial and residential buildings. Of the 40 cultural resources, 20 fall within the 0.5-mile APE for visual effects. Of the 20 resources, 14 have been determined not eligible for the National Register of Historic Places (NRHP) and the remaining six are “Undetermined” according to the SHPO record search results. None of the previously recorded resources fall within the APE for direct effects.

Table 1. Previously Recorded Resources within 1 Mile of the Project Area

Smithsonian Number	File Search "Site Type"	NRHP Status	Distance to Tower (miles)*
24SB0779	Historic Homestead/Farmstead	Not Eligible	0.12
24SB0248	Historic Residence	Undetermined	0.17
24SB0249	Historic Residence	Undetermined	0.17
24SB0250	Historic Residence	Undetermined	0.17
24SB0395	Historic Residence	Not Eligible	0.38
24SB0394	Historic Residence	Not Eligible	0.38
24SB0392	Historic Residence	Not Eligible	0.38
24SB0988	Historic Residence	Undetermined	0.38
24SB0989	Historic Residence	Undetermined	0.38
24SB0999	Historic Hotel/Motel	Undetermined	0.40
24SB0384	Historic Residence	Not Eligible	0.40
24SB0385	Historic Residence	Not Eligible	0.40
24SB0386	Historic Residence	Not Eligible	0.40
24SB0388	Historic Residence	Not Eligible	0.40

Smithsonian Number	File Search "Site Type"	NRHP Status	Distance to Tower (miles)*
24SB0389	Historic Residence	Not Eligible	0.40
24SB0390	Historic Residence	Not Eligible	0.40
24SB0391	Historic Residence	Not Eligible	0.40
24SB0393	Historic Residence	Not Eligible	0.40
24SB0396	Historic Residence	Not Eligible	0.40
24SB0397	Historic Residence	Not Eligible	0.40
24SB0993	Historic Commercial Development	Undetermined	0.60
24SB0189	Historic Site	Undetermined	0.62
24SB0784	Historic Trash Dump	Not Eligible	0.62
24SB0785	Historic Site	Not Eligible	0.62
24SB0788	Historic Trash Dump	Not Eligible	0.62
24SB0789	Historic Trash Dump	Not Eligible	0.62
24SB0492	Historic Residence	Not Eligible	0.63
24SB0237	Historic Residence	Undetermined	0.63
24SB0238	Historic Commercial Development	Undetermined	0.63
24SB0251	Historic Fraternal Lodge	Undetermined	0.64
24SB0252	Historic Residence	Undetermined	0.64
24SB0321	Hawthorne School	Listed	0.65
24SB0321	Longfellow School	Listed	0.71
24SB0981	Historic Residence	Undetermined	0.77
24SB0254	Silver Bow County Poor Farm Hospital	Listed	0.82
24SB0282	Historic Building Foundation	Undetermined	0.88
24SB0951	Historic Military Site	Undetermined	0.89
24SB0387	Historic Residence	Not Eligible	0.89
24SB0354	Butte-Anaconda Historic District	National Historic Landmark, Listed	0.97
24SB0219	WPA Ditch – Silver Bow Creek	DOE	0.97

* Distances approximated from the quarter section containing the resource as provided by the Montana SHPO. SWCA only verified the locations of eligible and listed historic properties within the 0.5-mile viewshed in the field.

DOE = Determination of Eligibility: either the property has been sent to the Keeper of the NRHP for a formal determination, or the SHPO has determined the property eligible; no record of the DOE within 1.0 mile of the current project location is available from the file search.

NRHP = National Register of Historic Places

Undetermined = The resource has been identified in the state's historic resources inventory, but the SHPO does not indicate its NRHP eligibility; the majority of the "Undetermined" properties within 0.5 mile of the current project location are likely contributing resources in the NHL district, thus are NRHP-listed.

In addition to the cultural resource file search, SWCA conducted a review of publically available records to determine the land use history of the subject property and to assess the potential for historic archaeological sites or architectural resources within the proposed APE not yet identified through cultural resource investigation. Gold and silver prospectors first arrived in the Butte area in the 1860s and by 1864 they were successfully working the placer deposits along Silver Bow Creek.¹ Little gold or silver was actually found and by 1871 mining activities in the area had nearly stopped all together. However, in 1874 a resurgence in copper mining activity followed development of a 300-mile wagon road to the Union Pacific Railroad in Ogden, Utah, lowering the cost of supplies and making it cheaper to ship copper ore.¹ In 1879 the town of Butte was founded and 1 year later the Utah & Northern Railroad upgraded the access to Ogden's mainline railroad, and marked the start of great growth in the area. With the railroads' need for telegraph wire and the timely national electrification trend of the United States came huge demand for copper.

Within a few short years, Butte was producing 26 percent of the world's supply of copper and men from all over the world came to work the mines.¹ By 1900 Butte had grown into an industrial complex supporting almost 9,500 people, hosting the state's Montana College of Mineral Science and Technology, replacing ubiquitous wood mine head frames with giant steel frameworks, and operating equipment across the community that could process raw ore into finished copper wire.²

In 1955 open-pit mining began in the area.³ The enormous Berkeley Pit mine, about 2.3 miles to the north of the project, survives from the success of mid-twentieth century copper mining; however, it is also the center of the nation's largest Superfund contaminated site. Mining in the area remained strong until 1971 when dwindling prices and the nationalization of mines in Chile and Mexico (in which Butte's Anaconda Copper Mining Company had holdings) all but stopped the mining operations in the area.¹ Some mining still continues today in the Continental Pit, but in a much reduced role.

According to the Bureau of Land Management's General Land Office (GLO) records, an 1877 map of the project area depicts the south branch of Silver Bow Creek crossing the western half of Section 29; an unlabeled rectangular claim is drawn around the creek. The first documented historic use of this property occurred in 1901 when the location was included within a 78,748-acre land grant awarded to the Northern Pacific (NP) Railway Company as overdue compensation for construction of its transcontinental route.⁴ The U.S. Geological Survey 1893 Dillon topographic map depicts the NP line to the east of the proposed project area, on the opposite side of Blacktail Creek. A building labeled Canon House is to the south, and a town called Homestake is to the southeast. The land containing the project area remained outside of

¹ Hoffman, Larry. 2011. *The Mining History of Butte and Anaconda*. Mining History Association. Available at: <http://www.mininghistoryassociation.org/ButteHistory.htm>. Accessed March 2, 2016.

² Strahn, Derek. 2006. Butte-Anaconda Historic District. Available at: <http://focus.nps.gov/GetAsset?assetID=b2694698-4c33-4e3d-b1f9-d8b8740bf6dc>. Accessed March 14, 2016.

³ Montana Historical Society Press. 2009. *Montana Place Names from Alzada to Zortman*. Montana Historical Society. Available at: <http://mtplacenames.org/>. Accessed March 3, 2016.

⁴ Bureau of Land Management. 2016. Official Website of the U.S. Department of the Interior, Bureau of Land Management General Land Office Records. Accession number MTMTAA 048495. Online database available at: <http://www.glorerecords.blm.gov/default.aspx>. Accessed March 22, 2016.

Butte's town limits until the mid-twentieth century; most of it was under a 20-foot-deep artificial lake. In 1895, Lake Avoca was excavated by Butte businessman Wallace McClintock White as part of a local resort that included a dance hall, pavilion, small steam train, and picnic facilities. The resort also rented canoes and rowboats. The lake resort was open all year and in the winter, ice skaters and hockey players used the frozen lake.⁵ The Butte Country Club, created in 1899 on the lower west side of Butte as a polo club, moved to this property in 1905, and added a golf course. That organization continues to own and operate the recreational property today.

EVALUATION OF THE APE FOR DIRECT EFFECTS

A SWCA field archaeologist conducted an intensive cultural resource survey of the 0.67-acre project area on April 11, 2016. SWCA staff inspected 100 percent of the APE for direct effects, which included the lease area and the entire length of the proposed access and utility easement. Ground surface visibility during the inventory was 70 to 100 percent. The ground surface was examined for artifacts, features, or other evidence of cultural occupation, such as charcoal-stained sediments. No archaeological material or any evidence of prehistoric cultural occupation was observed.

The proposed project area is in the northern half of a privately owned property, adjacent to both commercial and residential development as well as the Bert Mooney Airport to the south. The golf course was established on the property in 1939 and the current clubhouse was built in 1967. Additional recreational facilities on the property, including the tennis court and swimming pool, were built in 1967 as well. The proposed project area is on the north part of the golf course, in a previously disturbed area west of the creek that is not occupied by any of the course's greens. At some point the area was mechanically cleared as evidenced by the nearby excavator push piles, likely destroying or limiting any potential for archaeological materials in the area. Between fairways, greens, and tees, the area may also have been leveled during previous golf course development. SWCA cultural resource specialist Cyrena Udem conducted an archaeological site visit to identify and evaluate potential direct effects to historic properties at the project location, and to assess indirect effects to the buildings within the APE for visual effects. Notably, per the FCC PA, the APE for direct effects is limited to the area of potential ground disturbance and the portions of historic properties that will be physically altered or destroyed by the undertaking. The APE for visual effects addresses only previously recorded properties that have been determined eligible for nomination to the NRHP. For this reason, the current study focuses on the portion of the historic golf course within the proposed project disturbance areas, within consideration of the context of the greater 18-hole course and associated country club complex.

Butte Country Club (24SB0251)

24SB0251 was originally documented in 1986 as a single historic building constructed in 1916 and consisting of an asphalt-shingled gabled roof maintenance building with a concrete foundation and a frame construction with novelty siding.⁶ The earlier recorded 1916 maintenance building, previously determined not eligible for NRHP listing, has been replaced by a steel-clad

⁵ Montana Standard. 2016. Butte in 75, No. 45: Lake Avoca. Available at: http://mtstandard.com/news/local/butte-in-no-lake-avoca/article_a1bf3d7e-1c59-11e4-913f-0019bb2963f4.html. Accessed April 15, 2016.

⁶ Ore, J., and M. Fiege. 1986. Montana Historical and Architectural Inventory Form for 24SB0251. Available from the Montana State Historic Preservation Office, Helena.

utility building. However, during the current project, the boundary of 24SB0251 was expanded to include the entirety of the Butte Country Club and golf course. The following narrative describes the site as a whole.

The Butte Country Club golf course currently straddles Elizabeth Warren Avenue between Interstate 90/15 to the north and residential development and Burt Mooney Airport to the south, southeast of downtown Butte, Montana. The course, as it was redeveloped in 1939 after the draining of Lake Avoca, was an 18-hole golf course running northwest to southeast along Blacktail Creek. The manicured course includes native grasses and mature vegetation throughout, with mature trees largely along the edges and the creek. Several sand traps are located throughout the golf course. A small human-made pond (water hazard) is near the northeast corner of the course. The majority of the course is north of Elizabeth Warren Avenue, with the remainder of the course and the clubhouse facilities on the south side. Blacktail Lane further separates the country club buildings from the golf course. Paved paths weave around the golf course for golf cart travel. Golf carts were not commonly used until the late 1950s to early 1960s, or right before the time the country club facilities in Butte were planned for redevelopment and modernization.

No historic clubhouse facilities remain. The clubhouse (Building 1) is a two-story rectangular plan building on the east side of the golf course. This building has a concrete foundation with no visible basement, and the walls are clad in light-colored brick laid with weeping mortar, a popular 1960s architectural embellishment. Paired 3-light windows with brick sills are on the east-facing façade. The central main entrance with glazed commercial doors opens onto a semi-circular covered walkway with a flat roof and metal pole supports. Attached to the walkway on the east elevation is a flat-roof carport with brick pier supports. Two secondary entrances are on the rear (west) elevation, one with glazed commercial doors on the second floor and one with a slab door on the ground level. A full-width balcony wraps around the west and south elevations, with a flat roof and metal pole supports. The balcony has a fabricated metal balustrade. The main block of the building has a gable-on-hipped roof clad in asphalt shingles. Louvered vents are in each gable face.

A one-story rectangular plan building (Building 2) is directly north of the clubhouse. This building houses the pro shop and pool house, and was constructed in the same style as the country club with a flat roof. The pool is on the west side of the building. Several entrances are on the east, west, and south elevations with both commercial glazed and slab doors. Two maintenance outbuildings, both clad in crimped metal, are east of the clubhouse and the pool house on the other side of the parking lot. The flat-roof building (Building 3) has sliding windows on all elevations and an overhead garage door on the west elevation. The off-center main entrance is also on the west elevation and opens onto a concrete stoop. This flat-roof maintenance building appears to have replaced the historic (1916) asphalt-shingled gabled roof maintenance building documented in 1986.⁶ The front-gabled building (Building 4) has overhead garage doors on both the west and south elevations. No windows are visible on any elevation. The off-center main entrance is on the south elevation with a 6-light door. Based on the 1985 map of 24SB0251, Building 4 appears to have replaced the previous circa-1916 maintenance building on site. Beyond these maintenance buildings, on the east side, is the tennis court. The driving range is also on this side of the property.

The Butte Country Club, created in 1899 on the lower west side of Butte as a polo club, moved to this property in 1905 where it established Montana's first golf course east of where the current course is today, on the south side of Elizabeth Warren Avenue. The course was originally 18 holes with sand greens. In the late 1930s, the lake was drained and Blacktail Creek, dammed to create Lake Avoca, was returned to its original course. The country club purchased the land and in 1939 the 18-hole golf course was relocated to the old lake bed (present holes 1, 2, 3, 4, 13, and 15) and grass greens were established, the first in the state. The original clubhouse burned down in 1940. The facility was rebuilt, but was replaced in the 1960s with the current clubhouse. The country club has hosted many championship golf tournaments over the years, including a 1976 tournament that paired Evel Knievel and boxer Joe Louis, and continues to be a popular and social destination in Butte.⁷

NRHP Eligibility

The Butte Country Club and golf course are significant for their association with the eventful commercial and residential growth of the greater Butte area as relates thematically to the establishment of entertainment and recreational services to suit the growing population and as would be considered relevant under NRHP Criterion A. Although the Butte Country Club also established Montana's first golf course, the first iteration of that course was originally located south of the current course. At the current location is Montana's first course with grass greens. The Butte Country Club and golf course site is not known to be associated directly with anyone who has been noteworthy in the growth and history of the community or state and, therefore, is not significant under Criterion B. The 1967 clubhouse on the east side of the golf course does not exhibit style characteristics that are representative of a particular significant national building style. Additionally, this is the third clubhouse to be constructed on the property and it is not associated with the original golf course. The golf course is a basic 18-holer of par 70. The course's landscape design is the result of many alterations over decades of operation, and does not represent the work of a master nor is it a significant example of the golf-course landscape type. Therefore, this property is not significant under Criterion C.

The proposed project area is on the north part of the golf course, in a previously disturbed area west of the creek that is not occupied by any of the course's greens. The area at some point was mechanically cleared and excavator push piles are nearby likely destroying or limiting any archaeological materials. Between fairways, greens, and tees, the area may also have been leveled during previous golf course development. This area does not have the potential to produce significant archaeological materials. Therefore, this area is not further considered under Criterion D.

The Butte Country Club is significant under NRHP Criterion A. Although the course is significant for its ties to important events associated with the growth of Butte, related to themes of recreation and entertainment, and the site has retained its historic use since circa 1939, its historic character has been altered by changes made to the property through time, resulting in a lack of historical integrity. For a property to be eligible for the NRHP it must have both significance and integrity.

⁷ Gibson, Richard. 2013. Butte Country Club. Available at: <http://buttehistory.blogspot.com/2013/01/butte-country-club.html>. Accessed March 22, 2016.

The property has been reconfigured through time. The current reconfiguration represents a 1967 development of the country club and operation of the golf course. Regarding the seven elements of historic integrity (location, setting, design, workmanship, materials, feeling, and association), the golf course appears to retain its post-1939 location, but the country club facilities have been repositioned. The settings of both the course and club have been modernized, as have surrounding areas of Butte, including the addition of the freeway system. However, a sense of the original course setting is maintained by the continuation of its original recreational use and a persistence of recognizable systems of tees, fairways, greens, and connected landscaping. Golf course landscaping techniques have evolved with technological developments through time, including changes in turf/grass, sprinkler irrigation systems, and certain mowing systems. Overall, the design of the site is updated to reflect post-1967 modernizations, which has also altered the sense of workmanship, materials, and, thereby, feeling and association of the historic club and course from that of the historic era (circa 1939 to 1966) to that of the modern era (circa 1967 onward). Modernization of the site, particularly the club house facilities, has displaced the historic character of the site, although the original use continues.

Management Recommendations

No further work on the affected property is recommended. Based on the results of the cultural resource evaluation and previous and recent disturbance at the project location, the character-defining features (under Criterion A) of 24SB0251 lack historical integrity due to reconfiguration of the property circa 1967. It is therefore SWCA's professional opinion that No Historic Properties are Present within the APE for direct effects.

EVALUATION OF THE VISUAL EFFECTS APE

On April 11, 2016, SWCA cultural resource specialist Cyrena Udem conducted a viewshed analysis of the APE for visual effects to assess if the proposed project would result in any adverse effects on historic properties beyond the direct project area. Historic properties are cultural resources that are listed in, or eligible for listing in the NRHP. The critical viewshed is the intended historic view *of* a historic property that captures the character-defining integrity of the property, as critically enhanced by setting and feeling. The critical viewshed also includes the intended view *from* the historic property where any character-defining integrity is critically enhanced by the historic setting and feeling of the property. Therefore, for the stealth structure to have an effect on historic properties within the APE for visual effects, it must be visible within the viewshed when looking *at* a historic property or within the intended viewshed looking *from* the property, and the viewshed must be critical to the historic integrity (i.e., setting and feeling) of the property. The APE for visual effects includes the area within which effects from the stealth structure could impact historic properties, in this case, through visual intrusion.

The results of the SHPO record search identified no historic properties within the 0.5-mile APE for visual effects (see Table 1). Therefore, it is SWCA's professional opinion that No Historic Properties are Present within the APE for visual effects.

Ms. Kate Pirot
May 26, 2016
Page 9

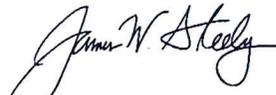
SUMMARY AND CONCLUSIONS

In summary, it is our professional opinion that No Historic Properties are Present within the APE for direct effects and that No Historic Properties are Present within the APE for visual effects. Therefore, no further work regarding cultural resources is recommended. Please feel free to contact us if you need additional information or would like SWCA to conduct any additional services on your behalf.

Sincerely,



Michael J. Retter
Principal Investigator



James W. Steely
Historian/Architectural Historian



Scott Phillips
Senior Principal Investigator

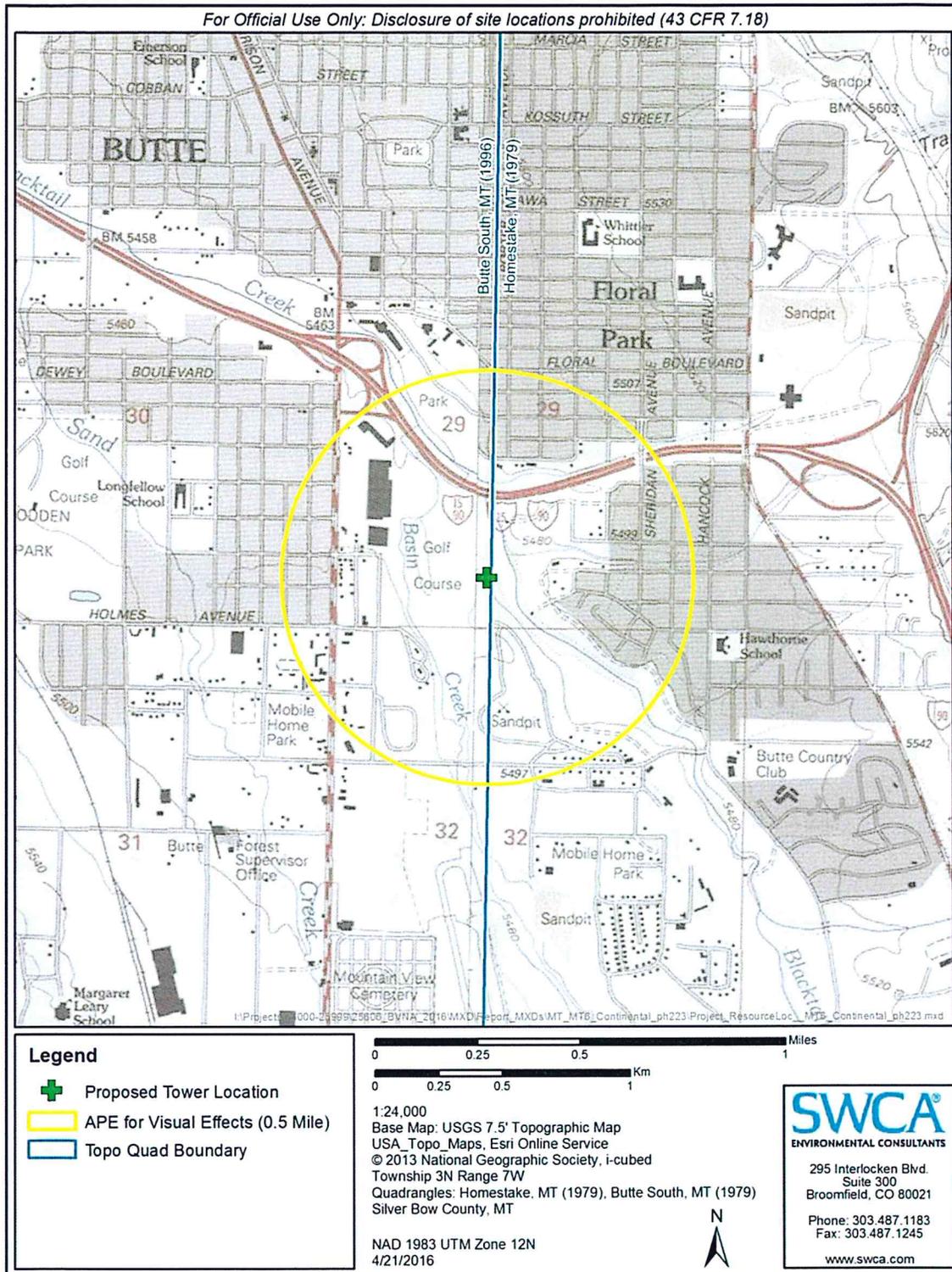


Figure 1. Location of the proposed project and the APE for visual effects.

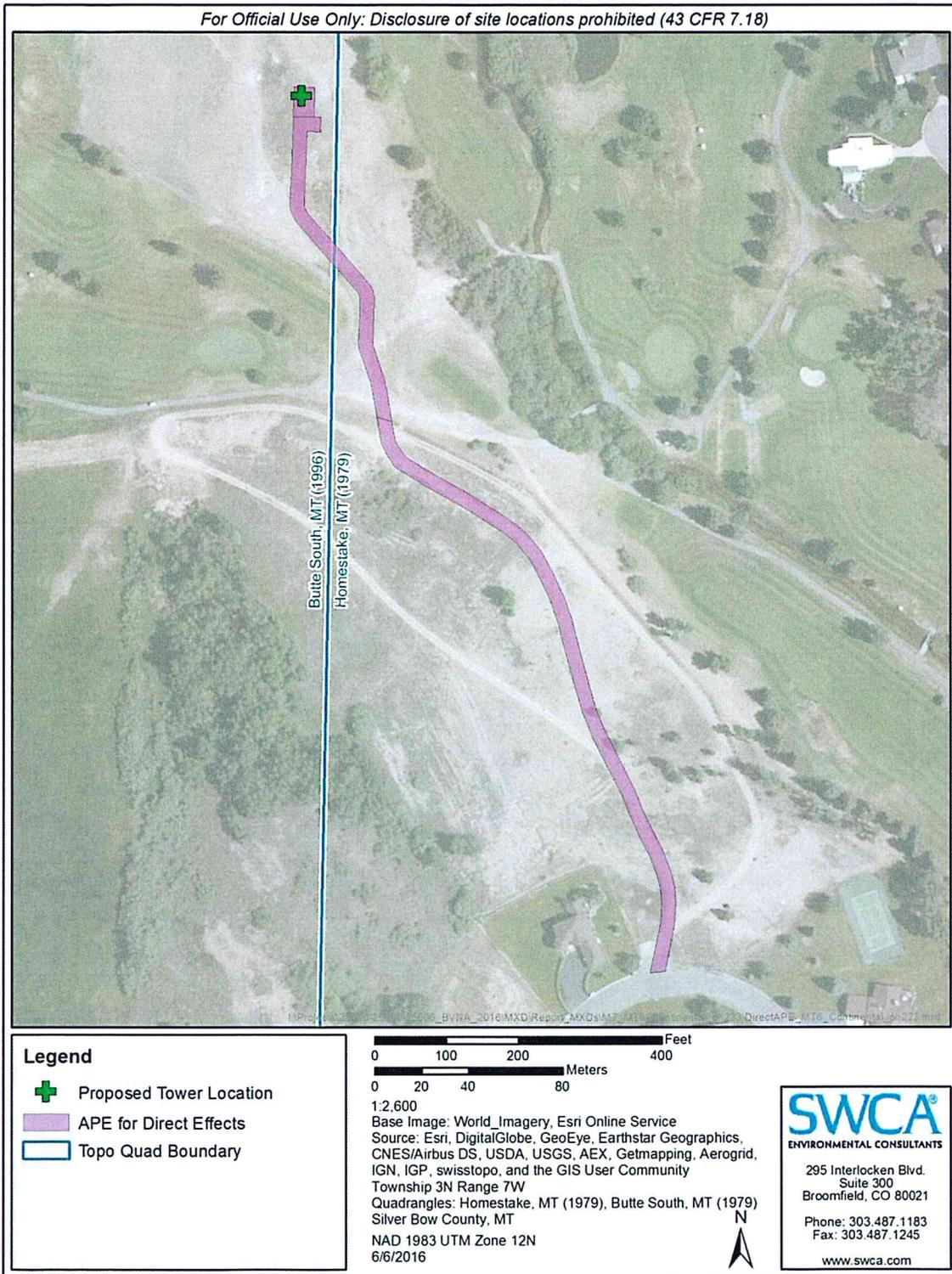


Figure 2. Overview of proposed project area and APE for direct effects.



- Photo 1 - View towards the proposed tower location.
- Facing north.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 2 - View towards the proposed tower location.
- Facing south.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 3 - View towards the proposed tower location.
- Facing east.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 4 - View towards the proposed tower location.
- Facing west.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 5 - View from the proposed tower location.
- Facing north.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 6 - View from the proposed tower location.
- Facing south.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 7 - View from the proposed tower location.
- Facing east.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 8 - View from the proposed tower location.
- Facing west.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 9 - Overview of the northern portion of the proposed access/utility easement, facing toward the proposed tower location.
- Facing north.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 10 - Overview of the northern portion of the proposed access/utility easement.
- Facing south-southeast.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 11 - Overview of the proposed access/utility easement from the gate, facing toward the proposed tower location.
- Facing north.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 12 - Overview of the proposed access/utility easement from the gate.
- Facing south-southeast.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 13 - Overview of the proposed access/utility easement from south of the gate.
- Facing southeast.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.



- Photo 14 - Overview of the proposed access/utility easement from Burning Tree Lane.
- Facing northwest.
- Photographed by C. Udem.
- Photo taken 04-11-2016.
- Image has not been altered.

MONTANA HISTORIC PROPERTY RECORD

For the Montana National Register of Historic Places Program and State Antiquities Database

Montana State Historic Preservation Office
Montana Historical Society
PO Box 201202, 1410 8th Ave
Helena, MT 59620-1202

Property Address: **3400 Elizabeth Warren Ave.**

Historic Address (if applicable): **N/A**

City/Town: **Butte**

Site Number: **24SB0251**

(An historic district number may also apply.)

County: **Silver Bow**

Historic Name: **Butte Country Club**

Original Owner(s):

Current Ownership Private Public

Current Property Name: **Butte Country Club**

Owner(s): **Butte Country Club**

Owner Address: **3400 Elizabeth Warren Ave.
Butte, MT 59701**

Phone: **(406) 494-2394**

Legal Location

PM: **Montana** Township: **3N** Range: **7W**

$\frac{1}{4}$ **SW** $\frac{1}{4}$ **NW** $\frac{1}{4}$ of Section: **33**

$\frac{1}{4}$ **SE** $\frac{1}{4}$ **NE** $\frac{1}{4}$ of Section: **32**

$\frac{1}{4}$ **NE** $\frac{1}{4}$ **NE** $\frac{1}{4}$ of Section: **32**

$\frac{1}{4}$ **NW** $\frac{1}{4}$ **NE** $\frac{1}{4}$ of Section: **32**

SW $\frac{1}{4}$ **SW** $\frac{1}{4}$ **SE** $\frac{1}{4}$ of Section: **29**

NW $\frac{1}{4}$ **SW** $\frac{1}{4}$ **SE** $\frac{1}{4}$ of Section: **29**

$\frac{1}{4}$ **SE** $\frac{1}{4}$ **SW** $\frac{1}{4}$ of Section: **29**

NE $\frac{1}{4}$ **SW** $\frac{1}{4}$ **SW** $\frac{1}{4}$ of Section: **29**

SE $\frac{1}{4}$ **SW** $\frac{1}{4}$ **SW** $\frac{1}{4}$ of Section: **29**

Lot(s): **Tract B Lying NW4**

Block(s):

Addition: **Country Club Estates Add. No 1** Year of Addition:

USGS Quad Name: **Homestake, MT** Year: **1979**

Historic Use: **Recreation**

Current Use: **Recreation**

Construction Date: **1939** Estimated Actual

Original Location Moved Date Moved:

UTM Reference www.nris.mt.gov

NAD 27 or NAD 83(preferred)

Zone: **12** Easting: **384180** Northing: **5092203**

National Register of Historic Places

NRHP Listing Date:

Historic District:

NRHP Eligible: Yes No

Date of this document: **4/28/2016**

Form Prepared by: **Nicole Kromarek**

Address: **295 Interlocken Blvd. Suite 300, Broomfield,
CO 80021**

Daytime Phone: **303-487-1183**

MT SHPO USE ONLY

Eligible for NRHP: yes no

Criteria: A B C D

Date:

Evaluator:

Comments:

MONTANA HISTORIC PROPERTY RECORD

PAGE 2

Architectural Description

Property Name: **Butte Country Club**

Site Number: 24SB0251

ARCHITECTURAL DESCRIPTION

Architectural Style: **Other:** If Other, specify: **N/A**

Property Type: **Recreation/Sports** Specific Property Type: **Butte Country Club and Golf Course**

Architect: **Unknown** Architectural Firm/City/State: **Unknown**

Builder/Contractor: **Unknown** Company/City/State: **Unknown**

Source of Information: **N/A**

24SB0251 was originally documented in 1986 as a single historic building constructed in 1916 and consisting of an asphalt-shingled gabled roof maintenance building with a concrete foundation and a frame construction with novelty siding (Ore 1986). The earlier recorded 1916 maintenance building, previously determined not eligible for NRHP listing, has been replaced by a steel-clad utility building. However, during the current project, the boundary of 24SB0251 was expanded to include the entirety of the Butte Country Club and golf course. The following narrative describes the site as a whole.

The Butte Country Club golf course currently straddles Elizabeth Warren Avenue between Interstate 90/15 to the north and residential development and Burt Mooney Airport to the south, southeast of downtown Butte, Montana. The course, as it was redeveloped in 1939 after the draining of Lake Avoca, was an 18-hole golf course running northwest to southeast along Blacktail Creek. The manicured course includes native grasses and mature vegetation throughout, with mature trees largely along the edges and the creek. Several sand traps are located throughout the golf course. A small human-made pond (water hazard) is near the northeast corner of the course. The majority of the course is north of Elizabeth Warren Avenue, with the remainder of the course and the clubhouse facilities on the south side. Blacktail Lane further separates the country club buildings from the golf course. Paved paths weave around the golf course for golf cart travel. Golf carts were not commonly used until the late 1950s to early 1960s, or right before the time the country club facilities in Butte were planned for redevelopment and modernization.

No historic clubhouse facilities remain. The clubhouse (Building 1) is a two-story rectangular plan building on the east side of the golf course. This building has a concrete foundation with no visible basement, and the walls are clad in light-colored brick laid with weeping mortar, a popular 1960s architectural embellishment. Paired 3-light windows with brick sills are on the east-facing façade. The central main entrance with glazed commercial doors opens onto a semi-circular covered walkway with a flat roof and metal pole supports. Attached to the walkway on the east elevation is a flat-roof carport with brick pier supports. Two secondary entrances are on the rear (west) elevation, one with glazed commercial doors on the second floor and one with a slab door on the ground level. A full-width balcony wraps around the west and south elevations, with a flat roof and metal pole supports. The balcony has a fabricated metal balustrade. The main block of the building has a gable-on-hipped roof clad in asphalt shingles. Louvered vents are in each gable face.

A one-story rectangular plan building (Building 2) is directly north of the clubhouse. This building houses the pro shop and pool house, and was constructed in the same style as the country club with a flat roof. The pool is on the west side of the building. Several entrances are on the east, west, and south elevations with both commercial glazed and slab doors. Two maintenance outbuildings, both clad in crimped metal, are east of the clubhouse and the pool house on the other side of the parking lot. The flat-roof building (Building 3) has sliding windows on all elevations and an overhead garage door on the west elevation. The off-center main entrance is also on the west elevation and opens onto a concrete stoop. This flat-roof maintenance building appears to have replaced the historic (1916) asphalt-shingled gabled roof maintenance building documented in 1986 (Ore 1986). The front-gabled building (Building 4) has overhead garage doors on both the west and south elevations. No windows are visible on any elevation. The off-center main entrance is on the south elevation with a 6-light door.

MONTANA HISTORIC PROPERTY RECORD

PAGE 3

History of Property

Property Name: **Butte Country Club**

Site Number: 24SB0251

Based on the 1985 map of 24SB0251, Building 4 appears to have replaced the previous circa-1916 maintenance building on site. Beyond these maintenance buildings, on the east side, is the tennis court. The driving range is also on this side of the property.

The Butte Country Club, created in 1899 on the lower west side of Butte as a polo club, moved to this property in 1905 where it established Montana's first golf course east of where the current course is today, on the south side of Elizabeth Warren Avenue. The course was originally 18 holes with sand greens. In the late 1930s, the lake was drained and Blacktail Creek, dammed to create Lake Avoca, was returned to its original course. The country club purchased the land and in 1939 the 18-hole golf course was relocated to the old lake bed (present holes 1, 2, 3, 4, 13, and 15) and grass greens were established, the first in the state. The original clubhouse burned down in 1940. The facility was rebuilt, but was replaced in the 1960s with the current clubhouse. The country club has hosted many championship golf tournaments over the years, including a 1976 tournament that paired Evel Knievel and boxer Joe Louis, and continues to be a popular and social destination in Butte (Gibson 2013).

MONTANA HISTORIC PROPERTY RECORD

PAGE 4

Information Sources/Bibliography

Property Name: **Butte Country Club**

Site Number: 24SB0251

INFORMATION SOURCES/BIBLIOGRAPHY

Gibson, Richard. 2013. Butte Country Club. Available online at <http://buttehistory.blogspot.com/2013/01/butte-country-club.html>. Accessed March 22, 2016.

Ore, J., and M. Fiege. 1986. Montana Historical and Architectural Inventory Form for 24SB0251. Available from the Montana State Historic Preservation Office, Helena.

MONTANA HISTORIC PROPERTY RECORD

PAGE 5

Statement of Significance

Property Name: **Butte Country Club**

Site Number: 24SB0251

NATIONAL REGISTER OF HISTORIC PLACES

NRHP Listing Date:

NRHP Eligibility: Yes No Individually Contributing to Historic District Noncontributing to Historic District

NRHP Criteria: A B C D

Area of Significance: Period of Significance:

STATEMENT OF SIGNIFICANCE

The Butte Country Club and golf course are significant for their association with the eventful commercial and residential growth of the greater Butte area as relates thematically to the establishment of entertainment and recreational services to suit the growing population and as would be considered relevant under NRHP Criterion A. Although the Butte Country Club also established Montana's first golf course, the first iteration of that course was originally located south of the current course. At the current location is Montana's first course with grass greens. The Butte Country Club and golf course site is not known to be associated directly with anyone who has been noteworthy in the growth and history of the community or state and, therefore, is not significant under Criterion B. The 1967 clubhouse on the east side of the golf course does not exhibit style characteristics that are representative of a particular significant national building style. Additionally, this is the third clubhouse to be constructed on the property and it is not associated with the original golf course. The golf course is a basic 18-holer of par 70. The course's landscape design is the result of many alterations over decades of operation, and does not represent the work of a master nor is it a significant example of the golf-course landscape type. Therefore, this property is not significant under Criterion C.

The proposed project area is on the north part of the golf course, in a previously disturbed area west of the creek that is not occupied by any of the course's greens. The area at some point was mechanically cleared and excavator push piles are nearby. Between fairways, greens, and tees, the area may also have been leveled during previous golf course development. This area does not have the potential to produce significant archaeological materials. Therefore, this area is not further considered under Criterion D.

The Butte Country Club is significant under NRHP Criterion A. Although the course is significant for its ties to important events associated with the growth of Butte, related to themes of recreation and entertainment, and the site has retained its historic use since circa 1939, its historic character has been altered by changes made to the property through time, resulting in a lack of historical integrity. For a property to be eligible for the NRHP it must have both significance and integrity.

The property has been reconfigured through time. The current reconfiguration represents a 1967 development of the country club and operation of the golf course. Regarding the seven elements of historic integrity (location, setting, design, workmanship, materials, feeling, and association), the golf course appears to retain its post-1939 location, but the country club facilities have been repositioned. The settings of both the course and club have been modernized, as have surrounding areas of Butte, including the addition of the freeway system. However, a sense of the original course setting is maintained by the continuation of its original recreational use and a persistence of recognizable systems of tees, fairways, greens, and connected landscaping. Golf course landscaping techniques have evolved with technological developments through time, including changes in turf/grass, sprinkler irrigation systems, and certain mowing systems. Overall, the design of the site is updated to reflect post-1967 modernizations, which has also altered the sense of workmanship, materials, and, thereby, feeling and association of the historic club and course from that of the historic era (circa 1939 to 1966) to that of

MONTANA HISTORIC PROPERTY RECORD

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Statement of Significance

Property Name: **Butte Country Club**

Site Number: 24SB0251

the modern era (circa 1967 onward). Modernization of the site, particularly the club house facilities, has displaced the historic character of the site, although the original use continues.

MONTANA HISTORIC PROPERTY RECORD

PAGE 7
Integrity

Property Name: **Butte Country Club**

Site Number: **24SB0251**

INTEGRITY (location, design, setting, materials, workmanship, feeling, association)

Although the course is significant for its ties to important events associated with the growth of Butte, related to themes of recreation and entertainment, and the site has retained its historic use since circa 1939, its historic character has been altered by changes made to the property through time, resulting in a lack of historical integrity.

MONTANA HISTORIC PROPERTY RECORD

PAGE 8
Photographs

Property Name: **Butte Country Club**

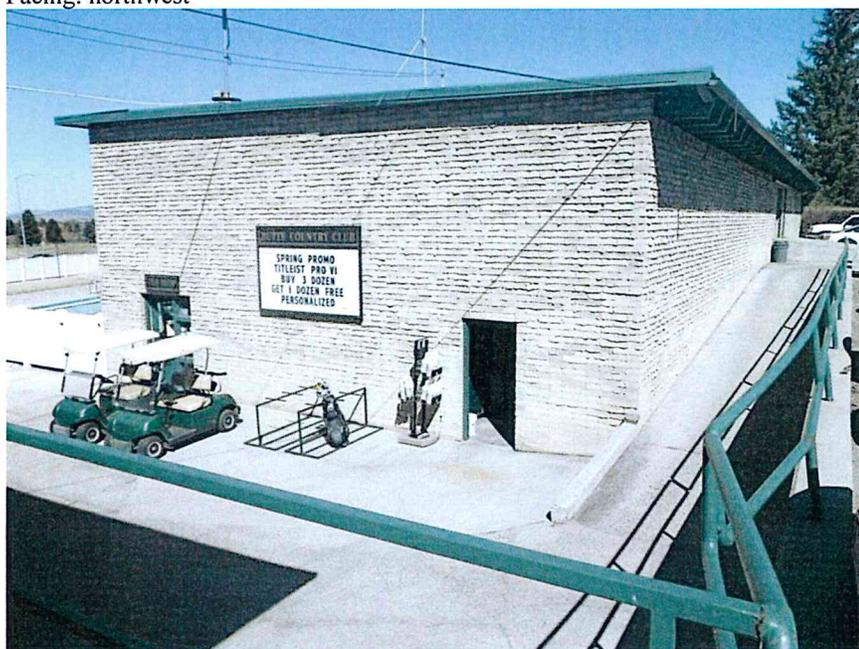
Site Number: **24SB0251**



Feature # 1

Description: Overview of club house.

Facing: northwest



Feature # 2

Description: Overview of pro shop and pool house.

Facing: northwest

MONTANA HISTORIC PROPERTY RECORD

PAGE 9
Photographs

Property Name: **Butte Country Club**

Site Number: **24SB0251**



Feature # 1
Facing: north-northeast

Description: Overview of club house.



Feature # 3
Facing: northeast

Description: Overview of flat-roofed maintenance building.

MONTANA HISTORIC PROPERTY RECORD

PAGE 10
Photographs

Property Name: **Butte Country Club**

Site Number: **24SB0251**



Feature # 4
Facing: northeast

Description: Overview of front-gabled maintenance building.



Feature # N/A
Facing: east

Description: Overview of shooting range.

MONTANA HISTORIC PROPERTY RECORD

PAGE 11
Photographs

Property Name: **Butte Country Club**

Site Number: **24SB0251**



Feature # N/A
Facing: southeast

Description: Overview of golf course.



Feature # N/A
Facing: north-northwest

Description: Overview of golf course.

MONTANA HISTORIC PROPERTY RECORD

PAGE 12
Photographs

Property Name: **Butte Country Club**

Site Number: **24SB0251**



Feature # N/A
Facing: northwest

Description: Overview of golf course.



Feature # N/A
Facing: northwest

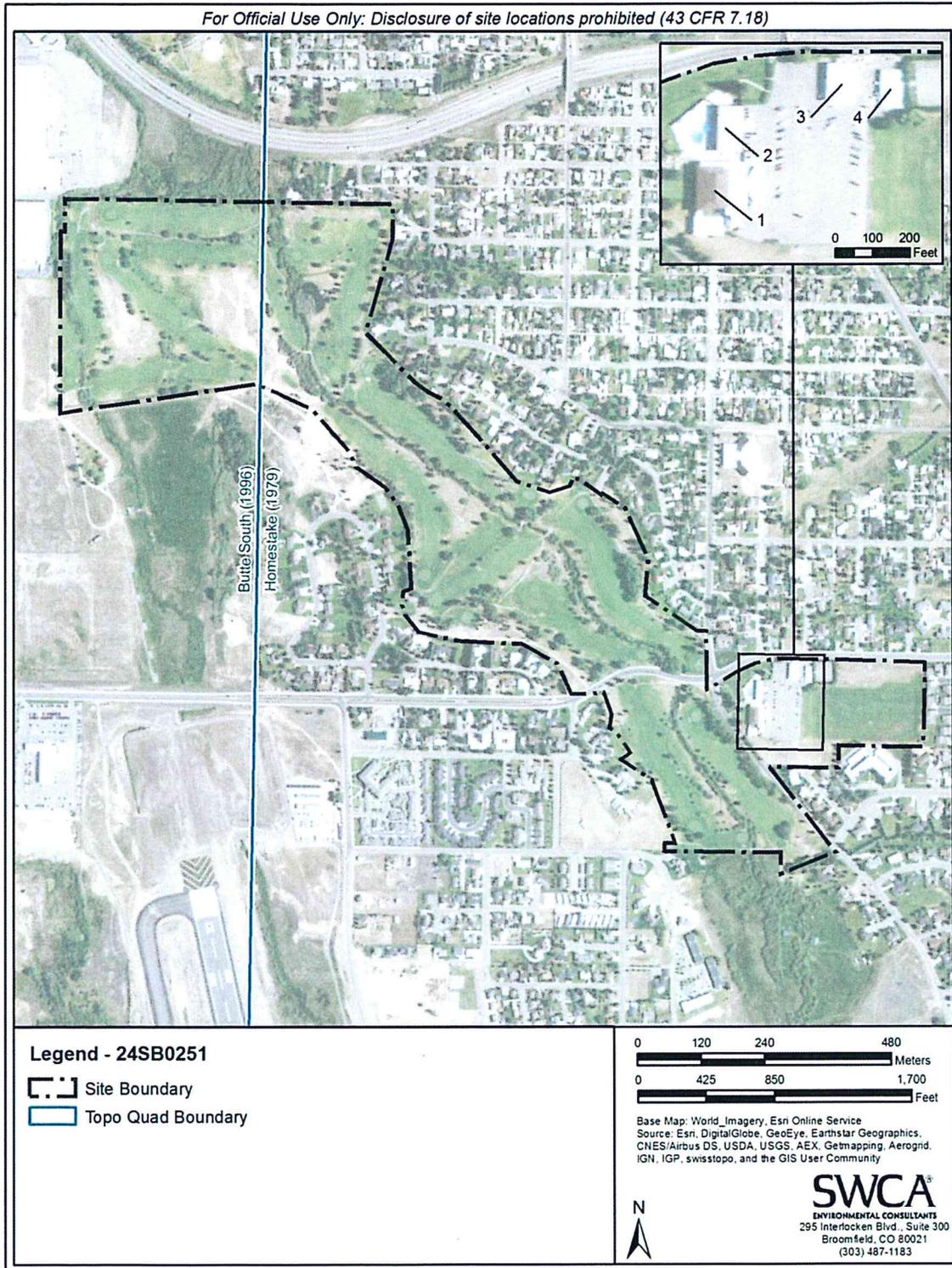
Description: Overview of golf course.

MONTANA HISTORIC PROPERTY RECORD

PAGE 13
Site Map

Property Name: **Butte Country Club**

Site Number: **24SB0251**



MONTANA HISTORIC PROPERTY RECORD

PAGE 14

Topographic Map

Property Name: **Butte Country Club**

Site Number: **24SB0251**

